TOWN OF TIMNATH, COLORADO
RESOLUTION NO. 45, SERIES 2023

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF TIMNATH APPROVING THE RIVERBEND LOT 1 SITE PLAN, GENERALLY LOCATED SOUTH OF AND ADJACENT TO EAST HARMONY ROAD, AND WEST OF SIGNAL TREE DRIVE

WHEREAS, the Town Council of the Town of Timnath ("Town") pursuant to C.R.S. § 31-15-103, has the power to pass resolutions; and

WHEREAS, Riverbend Development, LLC. (the "Applicant") has submitted a Site Plan, more particularly depicted on Exhibit A (Site Plan) and attached hereto; and

WHEREAS, the Planning Commission held a meeting to consider this item on June 20, 2023, and the above described Site Plan was recommended for approval to the Town Council by the Town of Timnath Planning Commission by unanimous (5-0) vote; and

WHEREAS, the Town Council held a meeting to consider this item on July 11, 2023 and upon hearing the statements of staff and the applicant(s) and giving consideration to the recommendations, the Town Council determines as provided below.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF TIMNATH, COLORADO AS FOLLOW:

Section 1. Approval
The Riverbend Lot 1 Site Plan is hereby approved in substantially the form as attached hereto, with the condition that the landowner obtain and record an easement for overflow parking from the owner of the parcel immediately to the South of the Lot 1 Riverbend (the "Easement Property"), which easement will not be terminated, released or revoked without written Town and which easement will allow users and invitees to the subject property to park vehicles on the Easement Property: 1) if additional parking spaces are required by the Town for requested land use approvals, building permits or tenant finishes; or 2) if the off-street parking on the subject property is regularly full resulting in on-street parking for the subject property, as determined by the Town, and subject to technical or otherwise non-substantive modifications, as deemed necessary by the Town Manager in consultation with the Town Planner, Engineer, Legal Counsel, and other applicable staff or consultants.

INTRODUCED, MOVED, AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF TIMNATH, ON JULY 11, 2023.

TOWN OF TIMNATH, COLORADO

Mark J. Soukup, Mayor

ATTEST:

Milissa Peters-Garcia, CMC
Town Clerk

TOWN OF TIMNATH
SEAL
COLORADO

EXHIBIT A

Legal Description of Property Proposed for the Site Plan

REPLAT C, RIVERBEND 1ST FILING, BEING A REPLAT OF LOTS 4, 5 AND 6, RIVERBEND 1ST FILING, LOCATED IN THE NORTHWEST 1/4 OF SECTION, TOWNSHIP 6 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO.

EXHIBIT B

Requested Waivers

Building Height Increase

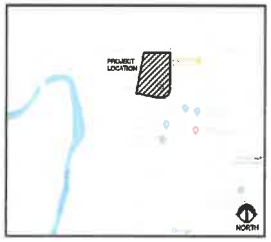
2.9.9.10.A. An applicant can apply for a height exception to increase the maximum allowed height of a building up to 15% from the height maximum in Table 5.2 and must be approved by Town Council.

Parking Reduction

5.8.10. For multi-tenant buildings, the overall parking count may be reduced by up to 20%

Riverbend
Lot 1 Site Plan

4625 East Harmony Road
Timnath, CO 80547



CERTIFICATE OF OWNERSHIP

WE CERTIFY THAT _____ ARE THE OWNERS OF THE PROPERTY.

OWNER:

_____

BY: _____

NOTARIAL CERTIFICATE:

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____

_____

NOTARY PUBLIC

PREPARER'S CERTIFICATE

I, CATHY MATHES, DO HEREBY CERTIFY THAT THIS SITE PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THIS SITE PLAN HAS BEEN PREPARED IN COMPLIANCE WITH ALL APPLICABLE LAWS OF THE TOWN OF TIMNATH AT THE TIME OF THIS SITE PLAN AND WITHIN MY CONTROL, AND IS ACCURATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

_____

CATHY MATHES
THE BIRDSALL GROUP, LLC.

PLANNING COMMISSION CERTIFICATE

APPROVED THIS _____ DAY OF _____, 20____
BY THE TOWN PLANNING COMMISSION, TIMNATH, COLORADO.

BY:

_____

PHIL GOLDSTEIN, CHAIR PERSON

TOWN COUNCIL CERTIFICATE

APPROVED THIS _____ DAY OF _____, 20____
BY THE TOWN COUNCIL, TIMNATH, COLORADO.

BY:

_____ _____

MARK J. SCHROP, TIMNATH MAYOR TIMNATH TOWN CLERK

FORT COLLINS - LOVELAND WATER DISTRICT

SOUTH FORT COLLINS SANITATION DISTRICT

District Engineer Date

All changes, addendums, additions, deletions and modifications to the as-built, must be approved, in writing, by the Fort Collins-Loveland Water District and the South Fort Collins Sanitation District.

POUDRE FIRE AUTHORITY CERTIFICATE

APPROVED THIS _____ DAY OF _____, 20____
BY THE POUDRE FIRE AUTHORITY.

BY:

_____

FIRE MARSHAL

TOWN ENGINEER'S CERTIFICATE

APPROVED THIS _____ DAY OF _____, 20____
BY THE TOWN ENGINEER.

BY:

_____

TOWN ENGINEER

LAND USE SUMMARY

EXISTING ZONING:	CO-COMMUNITY COMMERCIAL
GROSS LAND AREA:	145,554 S.F. 3.273 ACRES
NUMBER OF BUILDINGS:	2
LAND USE:	OFFICE / CONVENIENCE RETAIL SHOPPING CENTER
TOTAL BUILDING GROSS S.F.:	BUILDING 1 = 14,766 S.F. BUILDING 2 = 29,235 S.F.
MAX. STORIES:	2

GROSS AREA COVERAGE

	SQUARE FEET	ACRES	% OF
BUILDING FOOTPRINTS	29,402	0.675	21%
LANDSCAPE AREA	48,848	1.121	33%
PAVED DRIVES AND PARKING	51,648	1.185	35%
SIDEWALKS/PATIOS	14,656	0.336	10%
TOTAL AREAS	145,554	3.273	100%

OFFSTREET PARKING:

BUILDING 1: 14,766 SQ. FT.

7,340 SQ. FT. RETAIL @ 1/200	= 34
6,426 SQ. FT. RESTAURANT @ 1/100	= 65
500 SQ. FT. PATIO @ 1/200	= 3
TOTAL	102

BUILDING 2: 29,235 SQ. FT.

16,589 SQ. FT. RETAIL @ 1/200	= 83
12,646 SQ. FT. OFFICE @ 1/300	= 42
TOTAL	125

TOTAL SPACES REQUIRED: 189
TOTAL SPACES PROVIDED: 144 (20% PARKING REDUCTION)

BICYCLE PARKING: REQUIRED PROVIDED
5% OF VEHICULAR PARKING (REQUIREMENT) 8 8

SITE NOTES

1. ALL LIGHTING SHALL BE CUT-OFF FULL SHIELD LIGHTING SO THAT NO LIGHT SHALL SPILL OUTSIDE THE BOUNDARIES OF THE SITE, TYPICAL.
2. TRASH DUMPSTER(S) WILL BE SCREENED WITH TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS.
3. PARKING REDUCTION JUSTIFICATION PER DIVERSITY OF TENANTS AND OCCUPANCY USES AND DEMANDS ARE DIFFERENT HOURS OF THE DAY, DEMAND DIFFERENCE FOR DINING AND KITCHEN AREAS IN RESTAURANT. REFER TO NARRATIVE PROVIDED WITH SITE PLAN SUBMITTAL FOR FURTHER CLARIFICATION.

PROJECT TEAM

DEVELOPER	PLANNING AND LANDSCAPE ARCHITECT
SCHUMANN COMPANIES 7485 GREENDALE ROAD #105 WINDSOR, CO 80550 970.219.1400 CONTACT: ALEX SCHUMANN	THE BIRDSALL GROUP 444 MOUNTAIN AVENUE BERTHOUD, CO 80513 970.532.2481 CONTACT: CATHY MATHES / JIM DOYLE
CIVIL ENGINEER	**ARCHITECT**
RIDGE TOP ENGINEERING 5258 RONALD REAGAN BLVD. JOHNSTOWN, CO 80534 303.322.2480 CONTACT: GENE BEACH	RM ARCHITECTS, INC. 224 RESEARCH PKW., SUITE 3 FORT COLLINS, CO 80524 970.224.5520 CONTACT: MATT RANKIN

SHEET INDEX

1	COVER SHEET AND SITE PLAN
2	GENERAL NOTES
L1	OVERALL LANDSCAPE PLAN
L2	PLANT SCHEDULE AND DETAILS
L3	PLAZA ENLARGEMENTS AND DETAILS
A1	ARCHITECTURAL SITE PLAN & TRASH ENCLOSURE
A2	EXTERIOR ELEVATIONS - MIXED USE
A3	EXTERIOR ELEVATIONS - MIXED USE
A4	3D IMAGES - MIXED USE
A5	EXTERIOR ELEVATIONS - RETAIL
A6	3D IMAGES - RETAIL
SP-1	SITE PHOTOMETRIC PLAN
SP-2	SITE PHOTOMETRIC SPECIFICATIONS
ER-1.0	INITIAL EROSION CONTROL
ER-1.1	INTERIM EROSION CONTROL
ER-1.2	FINAL EROSION CONTROL
ER-2.0	EROSION DETAILS
ER-2.1	EROSION DETAILS
C-1.0	SITE PLAN NORTH
C-1.1	SITE PLAN SOUTH
C-2.0	DRAINAGE PLAN
C-2.1	GRADING PLAN NORTH
C-2.2	GRADING PLAN SOUTH
C-2.3	STORM PLAN AND PROFILE
C-2.4	STORM PLAN AND PROFILE
C-2.5	STORM PLAN AND PROFILE
C-3.0	UTILITY PLAN
C-3.1	UTILITY PLAN
C-3.2	WATER PROFILE
C-3.3	HORIZONTAL WATER RESTRAINT PLAN
C-3.4	SEWER PROFILE
CR-1.0	PRIVATE ROADWAY PLAN AND PROFILE
CR-2.0	PRIVATE ROAD CROSS SECTIONS
C-4.0	DETAILS
C-4.1	DETAILS
C-4.2	DETAILS

TOWN PLANNER'S CERTIFICATE

APPROVED THIS _____ DAY OF _____, 20____
BY THE TOWN PLANNER.

BY:

_____

TOWN PLANNER

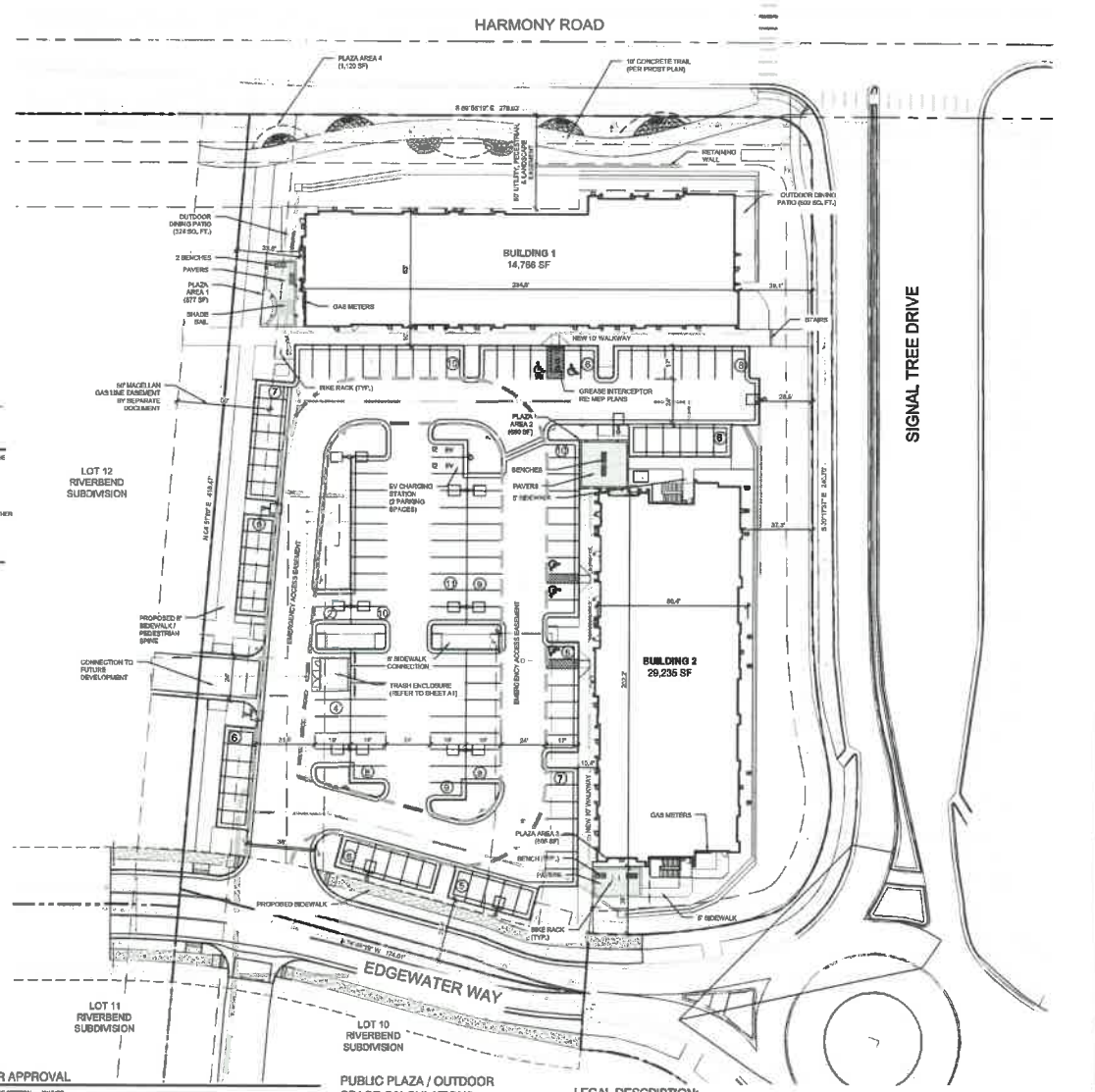
TOWN COUNCIL WAIVER CERTIFICATE

APPROVED THIS _____ DAY OF _____, 20____
BY THE TOWN COUNCIL, TIMNATH, COLORADO.

BY:

_____

MARK J. SCHROP, TIMNATH MAYOR



WAIVER APPROVAL

LAND USE CODE SECTION: SECTION 5.3.5.1
WAIVER: REDUCTION IN THE NUMBER OF PARKING STALLS FROM 189 TO 144, A 20% PARKING

RESOLUTION

- THE REQUIRED PARKING SPACE TOTALS OPERATE UNDER THE ASSUMPTION THAT ALL TENANTS AND ENTIRE OCCUPANCY TYPES OF USES WOULD OCCUPY THE SITE AND PARKING LOT DURING THE SAME HOURS. THIS SITE WILL HAVE A DIVERSITY OF TENANTS WITH DIFFERENT OCCUPANCIES THAT WILL DICTATE DIFFERENT PARKING DEMANDS AT DIFFERENT HOURS THROUGHOUT THE DAY. THE DOCTORS OFFICE CLIENTELE WILL COME TO THE MEDICAL OFFICE BETWEEN 9AM-5PM. A POTENTIAL CARRYOUT RESTAURANT TENANTS CLIENTELE WILL BE PARKED FOR SHORT DURATIONS THROUGHOUT THE DAY. A POTENTIAL RESTAURANT TENANTS CLIENTELE WOULD MORE LIKELY USE PARKING SPACES BETWEEN 5PM-9PM. A POTENTIAL OFFICE TENANT WOULD USE PARKING FOR THE THREE EMPLOYEES WORKING IN THE OFFICE WITH OCCASIONAL VISITS FROM CLIENTS THROUGHOUT THE WEEK.
- THE RESTAURANT OCCUPANCY OF 6 100 SQUARE FEET DOES NOT DIFFERENTIATE THE DINING AREA FROM THE KITCHEN AREA, AS A RULE OF THUMB, KITCHENS EQUATE TO 1/3 OF THE TOTAL SQUARE FOOTAGE. THE KITCHEN WOULD HAVE A MUCH LOWER DEMAND FOR PARKING THAN THE 1 PARKING SPACE PER 100 SQUARE FEET.
- THE PARKING LAYOUT ALLOWS FOR A FUTURE CONNECTION TO THE SITE WEST OF THE PROJECT SITE. IN THE FUTURE THERE WILL BE PROPORTIONAL SHARING OF PARKING SPACES ACROSS SITES AN DIFFERENT DEMANDS OF DIVERSE TENANTS PLACTUATE
- THE OWNER WANTS A GEOGCESSFUL MIX OF TENANTS THAT WILL INCLUDE RETAIL, OFFICE, RESTAURANT, AND MEDICAL OFFICE.

PUBLIC PLAZA / OUTDOOR SPACE CALCULATIONS

REQUIRED:

175 PARKING SPACES = 8,000 SF

AMENITIES REQUIRED = (4) STANDARD + (1) LARGE
AMENITIES PROVIDED = (4) STANDARD + (1) LARGE

AVAILABLE AREA REPLATTED MAX

AREA 1 (877 SF) = (1) LARGE AMENITY (SHADE SAIL + PLANTING) +
(1) STANDARD AMENITY (2 BENCHES + PLANTING)
AREA 2 (690 SF) = (1) STANDARD AMENITY (2 BENCHES + PLANTING)
AREA 3 (600 SF) = (1) STANDARD AMENITY (2 BENCHES + PLANTING)
AREA 4 (1,120 SF) = (2) STANDARD AMENITY (1) BOULDER BENCHES – PLANTING

TOTAL PLAZA SPACE REQUIRED = 8,000 SF
TOTAL PLAZA SPACE PROVIDED = 3,483 SF

LEGAL DESCRIPTION:

REPLAT C, RIVERBEND 1ST FILING, BEING A REPLAT OF LOTS 4, 5 AND 6, RIVERBEND 1ST FILING, LOCATED IN THE NORTHWEST 1/4 OF SECTION, TOWNSHIP 8 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO.

BENCHMARK DATA:

HAVONI ELEVATIONS UTILIZING THE PUBLISHED ELEVATION PURPOSE POINT "BRINKLEY", A BRASS CAP IN CONCRETE LOCATED APPROXIMATELY 60 SOUTH OF THE CENTERLINE OF EAST CO. RD. 38 AND APPROXIMATELY 48' SOUTHWEST OF THE RAILROAD TRACKS, WITH AN ELEVATION OF 4924.41 FEET.

BASIS OF BEARING:

BEARINGS ARE BASED ON THE EAST LINE OF LOT 2 PER M.R.D. NO. 87 EXISTING AND SHA WN HEREON IS ASSUMED TO BEAR 00°37'26" S.

SCALE 1" = 30'-0"
0 30' 45 60
NORTH

TB GROUP
landscape architecture | planning | illustration
444 Mountain Ave.
Berthoud, CO 80513
tel: 970.532.2481
web: TBGroup.co

RIVERBEND LOT 1

RIVERBEND
FIRST FILING
SITE PLAN

4625 EAST HARMONY ROAD
TIMNATH, CO 80547

RIVERBEND
DEVELOPMENT LLC
7385 Greendale Road
Unit 104
Windsor, CO 80550

Staff Comments	06-15-22
Staff Comments	09-01-22
Staff Comments	12-02-22
Staff Comments	02-15-23
Staff Comments	04-06-23
Staff Comments	05-03-23

December 29, 2021

COVER SHEET AND SITE PLAN

Sheet Number: 1

GENERAL NOTES:

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE LARIMER COUNTY URBAN AREA STREET STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE T THESE DO CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ENTITY.

2. THE DEVELOPER IS ESPECIALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE ENGINEER SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UCCO) AT 1-800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL R REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH / IRRIGATION COMPANIES) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING E EXCAVATION OR GRADING. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

3. NO WORK MAY COMMENCE WITHIN ANY IMPROVED PUBLIC RIGHT-OF-WAY UNTIL A RIGHT-OF-WAY PERMIT OR DEVELOPMENT CONSTRUCTION PERMIT IS OBTAINED, IF APPLICABLE. THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH M MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC C CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.

4. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES. THE DEVELOPER SHALL NOTIFY THE LOCAL ENTITY ENGINEER AT LEAST 2 WORKING DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR C CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS. IF THE LOCAL ENTITY ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE DEVELOPER MAY COMMENCE WORK IN THE ENGINEER ABSENCE. HOWEVER, THE LOCAL E ENTITY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.

5. THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND/OR SEAL HEREOF, DOES HEREBY AFFIRM RESPONSIBILITY TO THE TOWN OF TIMNATH, AS BENEFICIARY OF SAID ENGINEERS WORK, FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND A APPROVAL OF THESE PLANS BY THE CITY ENGINEER SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ALL SUCH RESPONSIBILITY. FURTHER, TO THE EXTENT PERMITTED BY LAW, THE ENGINEER HEREBY AGREES TO HOLD HARMLESS AND INDEMNIFY THE CITY, AND ITS OFFICERS AND EMPLOYEES, FROM AND AGAINST ALL LIABILITIES, CLAIMS, AND DEMANDS WHICH MAY ARISE FROM ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS.

6. ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OF NEW RESIDENTIAL ROADS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION. FOR THE PURPOSES OF THESE STANDARDS, ANY WORK EXCEPT CAP ABOVE THE SUBGRADE IS CONSIDERED F FINAL STAGE WORK. ALL SERVICE LINES MUST BE STUBBED TO THE PROPERTY LINES AND MARKED SO AS TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.

7. THE DEVELOPER SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.

8. NO WORK MAY COMMENCE WITHIN ANY PUBLIC STORM WATER, SANITARY SEWER OR POTABLE WATER SYSTEM EASTA. THE DEVELOPER NOTIFIES THE UTILITY PROVIDER. NOTIFICATION SHALL BE A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK, AT THE DISCRETION OF THE WATER UTILITY PROVIDER. A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO COMMENCEMENT OF ANY WORK.

9. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.

10. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.

11. WHEN APPLICABLE, THE DEVELOPER SHALL HAVE ONSITE AT ALL TIMES, EACH OF THE FOLLOWING:

    - THE NOTICE OF INTENT (NOI)
    - BEST MANAGEMENT PRACTICES (BMP) MAINTENANCE FOLDER
    - UP TO DATE STORMWATER MANAGEMENT PLAN (SWMP) THAT ACCURATELY REPRESENTS CURRENT FIELD CONDITIONS
    - ONE (1) SIGNED COPY OF THE APPROVED PLAN S
    - ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS
    - A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.

12. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING.

13. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE DEVELOPER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.

14. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.

15. THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, TH E RIGHT-OF-WAY, THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.

16. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.

17. THE DEVELOPER SHALL BE RESPONSIBLE FOR ENSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. M MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.

18. THE DEVELOPER SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES.

19. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ADVISE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.

20. THE DEVELOPER SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE, THE STORM WATER MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN.

21. ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AT THE INITIA OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL, ON- OR OFF-SITE, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN G GOOD REPAIR BY THE DEVELOPER, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACE OR LANDSCAPING, TO MITIGATE EROSION. THE DEVELOPER SHALL USE STANDARD EROSION CONTROL T CONTROLS DESCRIBED IN THE URBAN STORM D DRAINAGE CRITERIA MANUAL, VOLUME 3 - BEST MANAGEMENT PRACTICES, AS PUBLISHED BY THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (UDFCD).

22. THE DEVELOPER SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.

23. THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS, UNLESS SPECIFICALLY APPROVED BY THE LOCAL ENTITY ENGINEER, AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS, UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE LOCAL ENTITY.

24. THE DESIGNER SHALL PROVIDE ON THE COVER SHEET THE LOCATION OF THE NEAREST SURVEY BENCHMARK FOR THIS PROJECT AS WELL AS THE BASIS OF BEARING. THE BENCHMARK SHALL BE ON THE CURRENT CITY APPROVED DATUM.

25. UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.

26. EXISTING FENCES, TREES, SHRUBS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE DEVELOPERS E EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.

27. OVERLOT GRADING CONSTRUCTION MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." CONTACT THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, WATER QU QUALITY CONTROL DIVISION, PHONE (303) 692-3500.

28. A STATE CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DEWATERING IS REQUIRED IN ORDER TO INSTALL UTILITIES OR BEFORE WATER IS RESCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.

29. THE DEVELOPER IS RESPONSIBLE FOR FIELD LOCATING AND VERIFYING ELEVATIONS OF ALL EXISTING SEWER MAINS, WATER MAINS, CURBS, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS AND AT ANY UTILITY CROSSINGS PRIOR TO I INSTALLING ANY OF THE NEW IMPROVEMENTS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, THE DEVELOPER SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE LOCAL ENTITY PRIOR TO BEGINNING CONSTRUCTION.

30. AFTER ACCEPTANCE BY THE LOCAL ENTITY, PUBLIC IMPROVEMENTS EXPECTED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE.

31. THESE PUBLIC IMPROVEMENT CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF APPROVAL BY THE LOCAL ENTITY ENGINEER. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE LOCAL ENTITY PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.

32. PAVING SHALL NOT START UNTIL A SOILS REPORT AND PAVEMENT DESIGNES ACCEPTED BY THE LOCAL ENTITY ENGINEER AND SUBGRADE COMPACTION TESTS ARE TAKEN AND ACCEPTED BY THE LOCAL ENTITY ENGINEER.

33. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING SOILS TESTS WITHIN THE PUBLIC RIGHT-OF-WAY AFTER RIGHT OF WAY GRADING AND ALL UTILITY TRENCH WORK IS COMPLETE. IF THE FINAL SUBIMPROVEMENT DESIGN REPORT DOES NOT CORRESPOND WITH THE REMARKS OF THE ORIGINAL GEOTECHNICAL REPORT, THE DEVELOPER SHALL BE RESPONSIBLE FOR A RE-DESIGN OF THE SUBIVOS PAVEMENT SECTION OR, THE DEVELOPER MAY USE THE LOCAL ENTITY'S DEFAULT PAVEMENT THICKNESS SECTION(S), RELATIVELY OF THE OFTEN USED. ALL FINAL SOILS/PAVEMENT DESIGN REPORTS.

34. SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER. THE FINAL REPORT SHALL BE SUBMITTED TO THE INSPECTOR A MINIMUM OF TEN (10) WORKING DAYS PRIOR TO PLACEMENT OF BASE AND ASPHALT. PLACEMENT OF BASE AND ASPHALT SHALL NOT OCCUR UNTIL THE ENGINEERING DRAWING APPROVES THE FINAL REPORT.

35. ALL ROAD CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF FINAL PLAT APPROVAL.

36. PORTIONS OF LARIMER COUNTY ARE WITHIN OVERLAY DISTRICTS. THE LARIMER COUNTY FLOODPLAIN RESOLUTION SHOULD BE REFERRED TO FOR ADDITIONAL CRITERIA FOR ROADS WITHIN THESE DISTRICTS.

37. STANDARD HANDICAP RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS.

38. ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.

39. THE LOCAL ENTITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ROADWAY AND APPURTENANT IMPROVEMENTS, INCLUDING STORM DRAINAGE STRUCTURES AND PIPES, FOR THE FOLLOWING PRIVATE STREETS: (LIST). IF THIS NOTE APPLIES, THEN THIS SPECIAL NOTE SHALL BE PLACED ON THE COVER SHEET OF THE CIVIL CONSTRUCTION PLANS.

40. APPROVED VARIANCES ARE LISTED AS FOLLOWS: (PLAN SET MUST HAVE A LIST OF ALL APPLICABLE VARIANCES FOR THE PROJECT). IF THIS NOTE APPLIES, THEN THIS SPECIAL NOTE SHALL BE PLACED ON THE COVER SHEET OF THE CIVIL CONSTRUCTION PLANS.

TB GROUP
landscape architecture | planning | facilitation
444 Mountain Ave. | tel. 970.223.5601
Berthoud, CO 80513 | www.TBGroupLLC

RIVERBEND LOT 1

RIVERBEND
FIRST FILING
SITE PLAN

4625 EAST HARMONY ROAD
TIMNATH, CO 80547

RIVERBEND
DEVELOPMENT LLC
7785 Greendale Road
Unit 104
Windsor, CO 80550

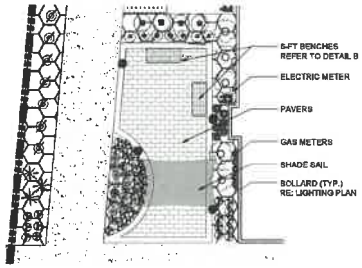
Staff Comments	06-15-22
Staff Comments	05-01-22

December 29, 2021

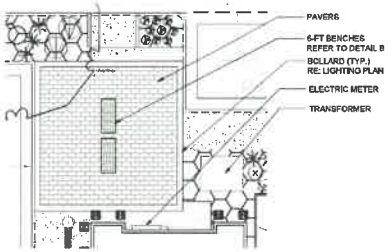
GENERAL NOTES

Sheet Number: 2

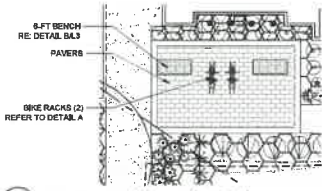
PLAZA ENLARGEMENTS



1 Plaza Area 1 Enlargement (877 sq.ft)
Scale: 1" = 10'-0"

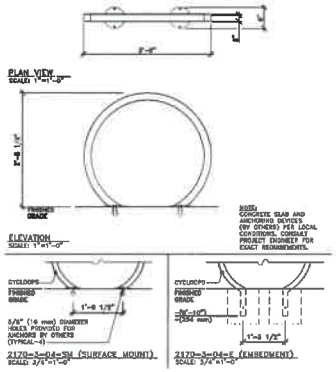


2 Plaza Area 2 Enlargement (680 sq.ft)
Scale: 1" = 10'-0"



3 Plaza Area 3 Enlargement (805 sq.ft)
Scale: 1" = 10'-0"

AMENITY DETAILS

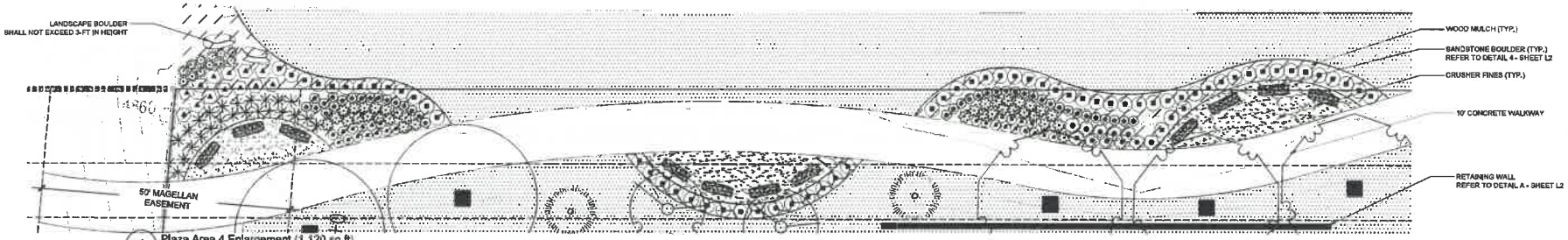


A Bike Rack Detail
Manufacturer: Timberform
Model No: 2170-3-04
Cycloops Circulo (Square Tubing)

B 6 FT. Bench Detail
Manufacturer: Wabash Valley
Model No: BU1113C
Color: Black - Surface Mount

C Rectangular Shade Sail
Manufacturer: Tenshon Shade Sails
Model No: Custom
Color: TBD by Owner and Landscape Architect
Note: Structural engineering services to be provided by Tenshon Shade Sails.
TB Group does not provide structural engineering services.

D EV Charging Station Detail
Manufacturer: SemaConnect
Model: Series 6 Smart
Dimensions: 25"H x 6" W x 6" D
Cable Length: 18 ft. standard, 25 ft. optional



4 Plaza Area 4 Enlargement (1,120 sq.ft)
Scale: 1" = 10'-0"

TB GROUP
landscape architecture | planning | consultation
444 Mountain Ave. | tel. 970.532.5891
Berthoud CO 80513 | www.TBGroup.us

RIVERBEND LOT 1

RIVERBEND
FIRST FILING
SITE PLAN

4625 EAST HARMONY ROAD
TIMNATH, CO 80547

RIVERBEND
DEVELOPMENT LLC
7385 Greendale Road
Unit 104
Windsor, CO 80550

Staff Comments	06-15-22
Staff Comments	09-01-22
Staff Comments	12-02-22
Staff Comments	02-15-23
Staff Comments	04-05-23
Staff Comments	05-05-23

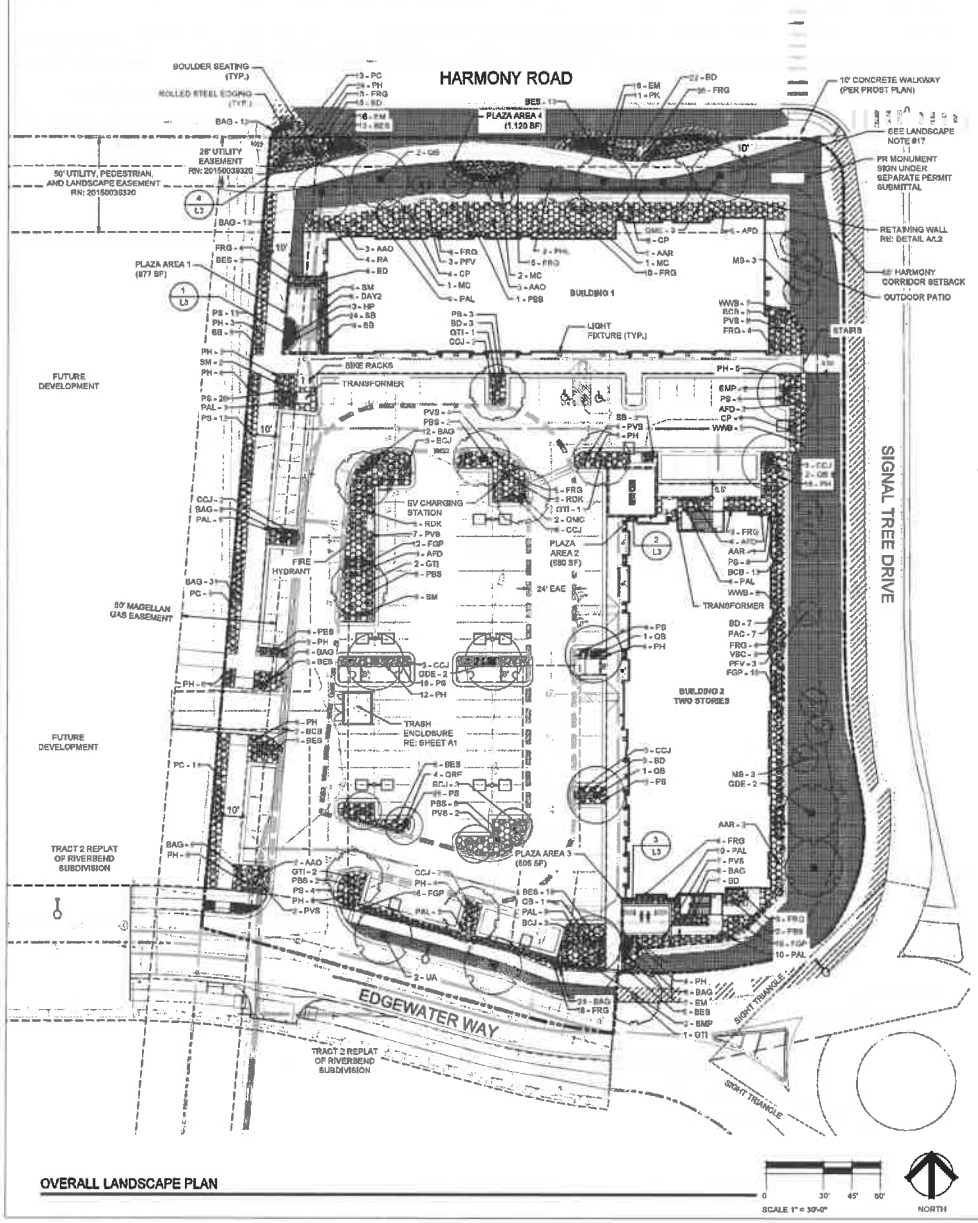
December 29, 2021

Plaza Enlargements and Amenity Details

Sheet Number: L3

Riverbend Lot 1

First Filing - Landscape Plan



Landscape Data & Requirements

	Code Requirement	Required	Provided
Harmony Corridor 288 l.f. 14,400 s.f.	1 tree per 40 l.f. ROW 1 shade tree per 60 l.f. setback 2 ornamental/evergreens per 60 l.f. setback 10% x (14,400 s.f.) planting bed	8 ROW trees 5 shade trees 10 orn/ever. trees 1,440 s.f. planting beds	9 ROW trees 5 shade trees 10 orn/ever. trees 10,183 s.f. planting bed
Open Space Percentages Site = 142,554 s.f.		25% Open Space = 35,639 s.f. 5% usable open space (per Section 5.10.6.2.A) = 7,128 s.f.	Open Space = 47,702 s.f. Usable Open Space = 17,868 s.f.*

*Usable open space includes plaza areas and open turf area.

LANDSCAPE NOTES

1. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES 48 HRS. PRIOR TO ANY EXCAVATION.
2. REFER TO CIVIL ENGINEER PLANS FOR UTILITY LAYOUT AND GRADING.
3. REFER TO PLAT FOR ALL PROPERTY LINE AND EASEMENT LOCATIONS.
4. ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN (ANN) SPECIFICATIONS FOR NUMBER ONE GRADE. ALL PLANTS SHALL COMPLY WITH STANDARDS FOR MEASUREMENTS, GRADING, BRANCHING, QUALITY, BALL AND BURLAPPING AS STATED IN THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN, INC. (ANN-ASNA) AND THE COLORADO NURSERY ACT OF 1965 (CNA).
5. ALL TREES TO BE BALLED & BURLAPPED, ROOT CONTROL BAG, OR CONTAINERIZED.
6. EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 14 GAUGE GALVANIZED STEEL WITH ROLLED TOP SET LEVEL WITH TOP OF GRADE. NO 6" DIA. BETWEEN PLANTS AND MAX. 20 MILS ON TRANSIT AVE.
7. ANY CHANGES IN TREE SPECIES AND/OR ITS SPECIFIED LOCATIONS MUST BE COORDINATED THROUGH TOWN. CHANGES IN SHRUB LOCATIONS MAY BE MADE DURING CONSTRUCTION AS REQUIRED BY SITE CONDITIONS. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS. IN THE EVENT OF CONFLICT WITH THE QUANTITIES INCLUDED IN THE PLANT LIST, SPECIES AND QUANTITIES SHALL BE PROVIDED.
8. STREET AND ORNAMENTAL TREES SHALL BE PLANTED NO CLOSER THAN 40' AND 10' RESPECTIVELY FROM STREET LIGHTS. NO TREES SHALL BE PLANTED WITHIN 10' FROM WATER AND SEWER LINES, 8' FROM GAS, TELEPHONE AND ELECTRIC LINES, AND 10' FROM ANY DRIVEWAY. NO TREES SHALL BE PLANTED CLOSER THAN 40' FROM A STOP SIGN.
9. ANY DISCREPANCIES WITH THE DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
10. THESE DRAWINGS ARE INTENDED TO CONVEY GREEN DESIGN CONCEPTS. THERE IS NO INTENTION TO CONVEY EVERY ELEMENT OF THE WORK NECESSARY TO THE SUCCESSFUL COMPLETION OF THE PROJECT. THE OWNER AND CONTRACTOR MUST INTERPRET CERTAIN ELEMENTS OF THE DESIGN TO ADJUST TO SITE CONDITIONS.
11. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY "CLEANING" IN WHICH SUBCONTRACTORS ARE REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
12. PLANT MATERIAL LOCATIONS SHALL BE COORDINATED WITH SPRINKLER IRRIGATION HEAD LOCATIONS TO AVOID CONFLICTS.
13. PRIOR TO INSTALLATION OF PLANT MATERIALS, ALL AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED. FOR TURF AND NATIVE GRASS AREAS, SOIL SHALL BE TILLED AND AMENDED WITH ORGANIC MATTER AT THE RATE OF 4 CUBIC YARDS/1000 S.F. AND 1 CUBIC YARD/1000 S.F., RESPECTIVELY.
14. ALL SHRUB BEDS SHALL HAVE MINIMUM 4" DEPTH SHREDDED CEDAR MULCH - NATURAL COLOR AND/OR WASHED SMOOTH COBBLE. A CONTINUOUS LAYER OF TYPAR LANDSCAPE FABRIC OR APPROVED EQUAL SHALL BE INSTALLED IN ALL SHRUB BEDS WITH 6" OVERLAP AT SEAMS WITH 6" STAPLES 4' O.C. IN ALL DIRECTIONS.
15. TO THE MAXIMUM EXTENT PEASIBLE, THE PLANT THAT IS REMOVED DURING CONSTRUCTION SHALL BE SCREENED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
16. ALL LANDSCAPE AND IRRIGATION IMPROVEMENTS SHALL BE INSTALLED PRIOR TO ISSUANCE OF C.O. FOR ALL STRUCTURES.
17. TREES PLANTED IN TURF AREAS WITHIN HARMONY CORRIDOR SHALL HAVE AN ORGANIC MULCH RING WITH A RADIUS OF AT LEAST FOUR FEET (48 INCHES).
18. OWNER SHALL BE RESPONSIBLE FOR INSTALLATION, IRRIGATION AND MAINTENANCE OF RIGHT-OF-WAY LANDSCAPING ADJACENT TO THE PROPERTY.

IRRIGATION NOTES

1. IRRIGATION SYSTEM SHALL BE PROVIDED BY NON-POTABLE WATER SYSTEM. 1" IRRIGATION TAP WILL BE USED. REFER TO IRRIGATION PLANS FOR LOCATION AND DETAILS.
2. IRRIGATION CONTRACTOR SHALL VERIFY P.S.I. AND GPM AVAILABLE. SYSTEM SHALL BE DESIGNED TO MEET THE AVAILABLE P.S.I. AND GPM. IF NECESSARY CONTACT THE WATER DEPARTMENT PRIOR TO DESIGNING DESIGN TO OBTAIN AVAILABLE PRESSURES.
3. ALL DESIGNATED SOD GRASS AREAS ARE TO BE IRRIGATED BY A PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR. TURF AREAS LESS THAN 20 FEET IN WIDTH ARE TO BE IRRIGATED WITH POP-UP SPRAY HEADS AND AREAS GREATER THAN 20 FEET SHALL USE A ROTOR POP-UP SPRAY SYSTEM.
4. ALL TREES, SHRUBS AND PERENNIALS OUTSIDE OF POP-UP IRRIGATED AREAS, ARE TO BE IRRIGATED WITH A PERMANENT DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM AND NECESSARY SLEEVING WILL BE DESIGNED AND BUILT BY CONTRACTOR AND ADJUSTED TO A LOW WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL.
5. THE IRRIGATION SYSTEM SHOULD BE ADJUSTED TO A LOW WATER REQUIREMENT, BASED ON THE NEEDS OF SELECTED PLANT MATERIAL.
6. QUICK COUPLERS SHALL BE PROVIDED AT EACH POINT OF CONNECTION AND AT REGULAR SPACING ALONG THE IRRIGATION MAINLINE. SPACING OF QUICK COUPLERS SHALL NOT EXCEED 200 FEET. LOCATE QUICK COUPLING VALVE AT A POINT OF EASY ACCESS.
7. FINAL LOCATION OF IRRIGATION HEADS MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING. HEAD LOCATION SHALL BE COORDINATED IN THE FIELD WITH EXISTING SITE CONDITIONS AND PLANT MATERIAL.
8. ALL IRRIGATION TRENCHES SHALL BE PROPERLY WATERED AND COMPACTED TO AVOID FUTURE SETTLING. ANY SETTLING DURING WARRANTY PERIOD WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
9. COORDINATE ALL IRRIGATION WORK WITH EXISTING UTILITIES AND RESPECTIVE TRADES.
10. ALL IRRIGATION SLEEVING SHALL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVING LOCATIONS WITH GENERAL CONTRACTOR. ALL IRRIGATION SLEEVING TO BE STAKED IN THE FIELD OR LOCATED ON DIMENSIONED "AS-BUILT" DRAWING BY THE GENERAL CONTRACTOR TO ALLOW FUTURE USE AND LOCATION.

Landscape Legend

SYMBOL	DESCRIPTION
	HYPERFORMANCE BLUE TURF GRAFF'S TURF OR APPROVED EQUAL
	1.5" WASHED RIVER ROCK COBBLE ALL SHRUB BEDS TO RECEIVE A MINIMUM 2"-3" DEPTH ROCK COBBLE
	CRUSHER FINES
	SHREDDED CEDAR MULCH ALL SHRUB BEDS TO RECEIVE A MINIMUM 4"-6" DEPTH SHREDDED CEDAR WOOD MULCH
	EXISTING LANDSCAPE
	EXISTING TREE

PROPERTY LINE
EASEMENT LINE
STEEL EDGER
WATER MAIN
SANITARY SEWER MAIN
ELECTRIC LINE
GAS LINE
TELEPHONE LINE
STORM DRAINAGE PIPE
WATER METER
LIGHT POLE
STREET LIGHT
SIGNAGE
LANDSCAPE BOULDER

WARNING
HIGH PRESSURE PIPELINE(S)
Excavation and/or Construction Prohibited
Without compliance with State One-Call, AND
Without Written Permission From
MAGELLAN PIPELINE COMPANY, L.P.

TB GROUP
landscape architecture | planning | urban design
444 Mountain Ave.
Berthoud, CO 80513
ph. 970.532.5891
web TBGroup.us

RIVERBEND LOT 1

RIVERBEND
FIRST FILING
SITE PLAN

4625 EAST HARMONY ROAD
TIMNATH, CO 80547

RIVERBEND
DEVELOPMENT LLC
7365 Greendale Road
Unit 104
Windsor, CO 80550

Staff Comments	06-15-22
Staff Comments	09-01-22
Staff Comments	12-02-22
Staff Comments	02-15-23
Staff Comments	04-05-23
Staff Comments	05-03-23

December 29, 2021

Overall Landscape Plan

Sheet Number: L1

Plant Schedule

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	GTI	7	Gleditsia triacanthos inermis 'Shademaster' Shademaster Honeylocust	2.0" cal. BB
	GDE	4	Gymnocladus dioicus 'Espresso' Seedless Kentucky Coffeetree	2.0" cal. BB
	QB	7	Quercus buckleyi Texas Red Oak	2.0" cal. BB
	QMC	6	Quercus muehlenbergii Chinkapin Oak	2.0" cal. BB
	QRF	4	Quercus robur 'Fastigiata' Fastigiate English Oak	2.0" cal. BB
	UA	2	Ulmus x 'Accolade' Accolade Elm	2.0" cal. BB

EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	PAC	7	Picea abies 'Cupressina' Fastigiate Norway Spruce	8' B&B
	PBB	1	Picea pungens 'Baby Blue Eyes' Baby Blue Eyes Spruce	8' B&B
	PFV	5	Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Pyramid Pine	6' B&B
	PHL	2	Pinus heldreichii leucodermis Bosnian Pine	8' B&B

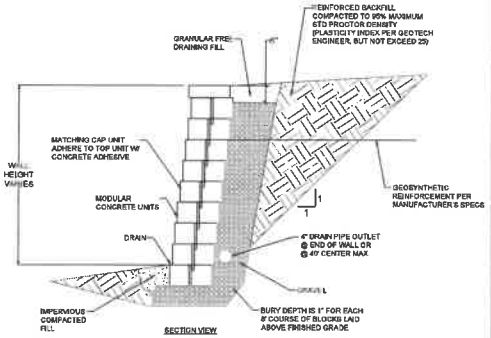
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	MC	4	Malus x 'Centzam' TM Centurion Crabapple	1.5" cal. BB
	MS	6	Malus x 'Spring Snow' Spring Snow Crabapple	1.5" cal. BB

DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	AAO	8	Amelanchier alnifolia 'Obelisk' Standing Ovation Serviceberry	Multi-Stem, 4' Clump
	AAR	10	Amelanchier alnifolia 'Regent' Regent Serviceberry	Multi-Stem, 6' clump
	ACB	18	Aronia melanocarpa 'Iroquois Beauty' Black Chokeberry	5 gal.
	BD	64	Buddleja davidii 'Blue Chip' Dwarf Butterfly Bush	1 gal.
	CP	14	Caragana pygmaea Pygmy Peashrub	5 gal.
	AFD	14	Cornus sanguinea 'Arctic Fire' TM Arctic Fire Dogwood	5 gal.
	PAL	55	Perovskia atriplicifolia 'Little Spire' TM Little Spire Russian Sage	5 gal.
	PVS	32	Philadelphus x virginalis 'Dwarf Snowflake' Dwarf Snowflake Mockorange	5 gal.
	PBS	26	Prunus besseyi 'Pawnee Buttes' Creeping Western Sand Cherry	5 gal.
	RA	4	Ribes alpinum Alpine Currant	5 gal.
	RDK	8	Rosa x 'Double Knockout' Double Knockout Rose	5 gal.
	SM	16	Syringa pubsa 'Miss Kim' Miss Kim Korean Lilac	5 gal.
	VBC	9	Viburnum trilobum 'Bailey Compact' Compact American Cranberrybush	5 gal.

EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	BCJ	9	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	5 gal.
	CCJ	21	Juniperus sabina 'Calgary Carpet' TM Calgary Carpet Juniper	5 gal.
	SMP	4	Pinus mugo 'Slowmound' SLOWMOUND MUGO PINE	5 gal.

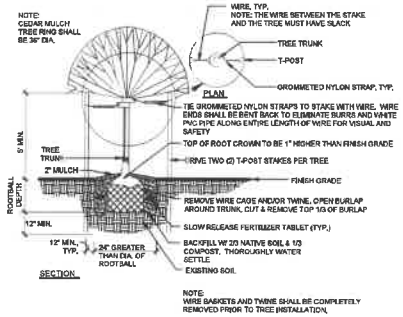
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	WWB	18	Andropogon gerardii 'Windwalker' Windwalker Big Bluestem Grass	1 gal.
	BAG	134	Bouteloua gracilis 'Blonde Ambition' Blonde Ambition Blue Grama	1 gal.
	FRG	127	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal.
	FGP	53	Miscanthus sinensis 'Purpurescens' Flame (Purple Maiden) Grass	1 gal.
	PS	112	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass	1 gal.
	PC	29	Panicum virgatum 'Cheyenne Sky' Cheyenne Sky Switch Grass	1 gal.
	PH	114	Pennisetum alopecuroides 'Hamelin' Hamelin Fountain Grass	1 gal.
	PK	11	Pennisetum orientale 'Karley Rose' Karley Rose Fountain Grass	1 gal.
	SB	46	Schizachyrium scoparium 'Blaze' Blaze Little Bluestem	1 gal.

PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	EM	41	Echinacea purpurea 'Magnus Superior' Magnus Superior Coneflower	1 gal.
	DAY2	6	Hemerocallis x 'Red' Red Daylily Pardon Me	1 gal.
	HP	13	Hemerocallis x 'Purple De Oro' Purple De Oro Daylily	1 gal.
	BES	47	Rudbeckia fulgida sullivantii 'Goldsturm' Black-Eyed Susan	1 gal.

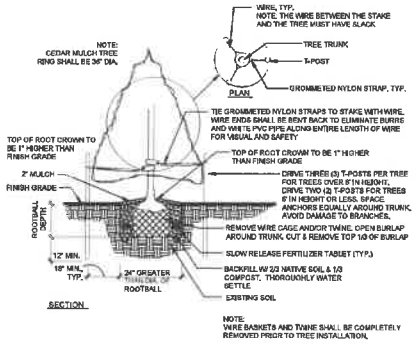


A Retaining Wall Detail
Scale: NTS

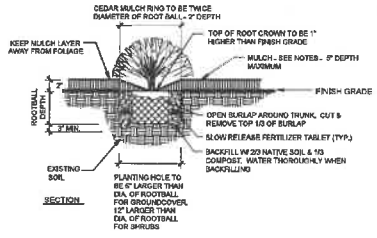
Landscape Details



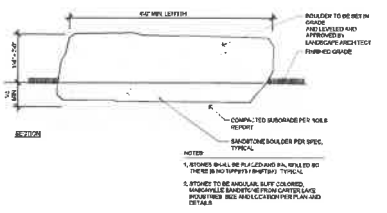
1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE 329343.15-01



2 CONIFER TREE PLANTING DETAIL
NOT TO SCALE 329343.25-01



3 GROUND COVER AND SHRUB PLANTING DETAIL
NOT TO SCALE 329343.15-01



4 SANDSTONE BOULDER
1/2" = 1'-0" T30-4-10

TB GROUP
landscape architecture | planning | illustration
444 Mountain Ave. Berthoud CO 80513 | 970.532.5891 | www.TBGroupLA.com

RIVERBEND LOT 1

RIVERBEND FIRST FILING SITE PLAN

4625 EAST HARMONY ROAD
TIMNATH, CO 80547

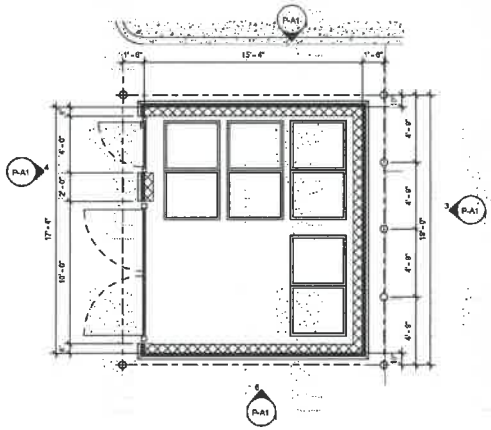
RIVERBEND DEVELOPMENT LLC
7385 Greendale Road
Unit 104
Windsor, CO 80550

Staff Comments	06-15-22
Staff Comments	09-01-22
Staff Comments	12-05-22
Staff Comments	02-15-23
Staff Comments	04-05-23
Staff Comments	05-03-23

December 29, 2021

Plant Schedule and Details

Sheet Number: L2



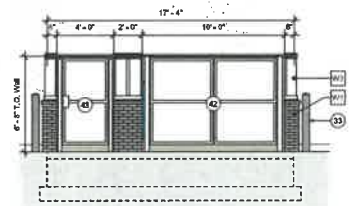
2 Enlarged Trash Enclosure Plan
1/4" = 1'-0"

KEYNOTE LEGEND

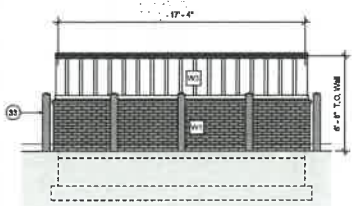
Key Value	Keynote Text
14	Electrical gear and meters painted to match adjacent building material
16	Pad mount electrical transformer, refer to electrical
17	Gas meter(s) per utility provider, paint to match adjacent wall material
18	Knox box per FPD requirements
19	Fire Department Connection
33	6" concrete filled pipe bollard to 42" AFF. Paint white.
34	Handicap parking sign.
35	Bike rack, refer to landscape drawings for details
42	Painted steel trash enclosure gates.
43	Painted steel trash enclosure man gate.
46	Plaza / Amenity Space: Reference landscape plans for details.

MATERIAL LEGEND

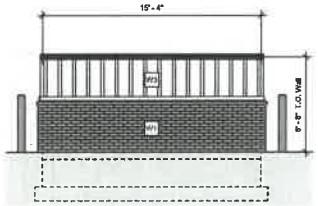
W1		**Modular Brick - 4" Veneer** Manuf: TBD Product: Modular Brick, running bond + soldier as shown on elevations Color: TBD Gray
W3		**Board & Batten Cementitious siding** Manuf: James Hardie Product: Select Cedarmill Vertical Siding w/ Rustic Grain Batten Boards. Color: TBD White



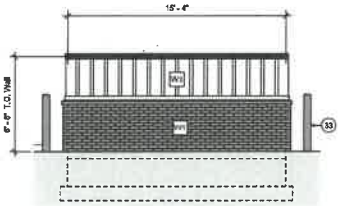
4 South Trash Enclosure Elevation
1/4" = 1'-0"



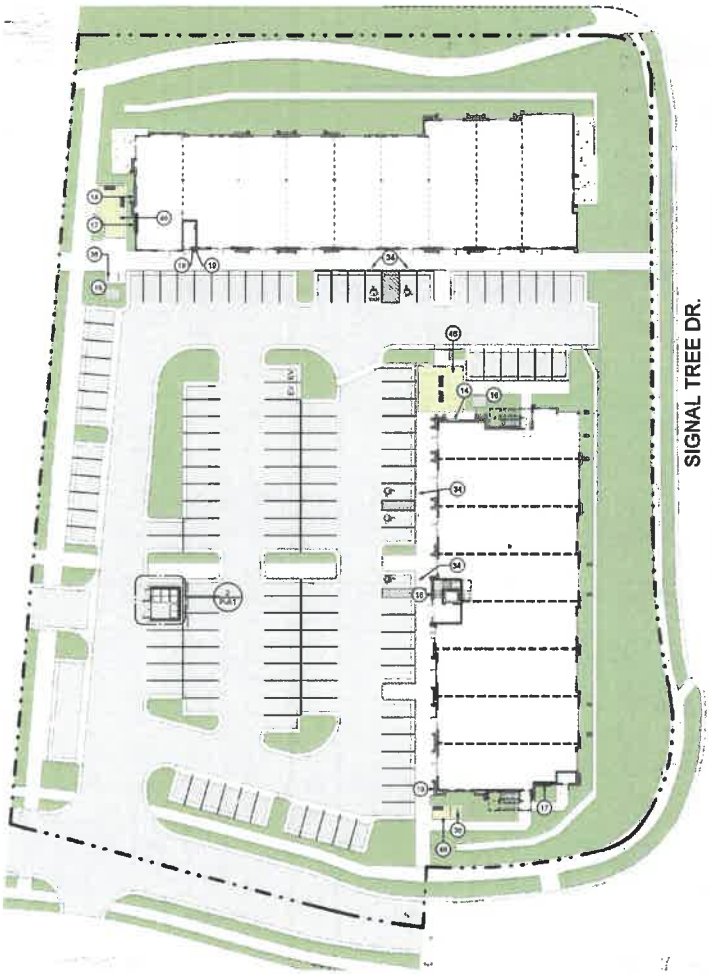
3 North Trash Enclosure Elevation
1/4" = 1'-0"



6 East Trash Enclosure Elevation
1/4" = 1'-0"



5 West Trash Enclosure Elevation
1/4" = 1'-0"


SIGNAL TREE DR.
EV
EV
EV

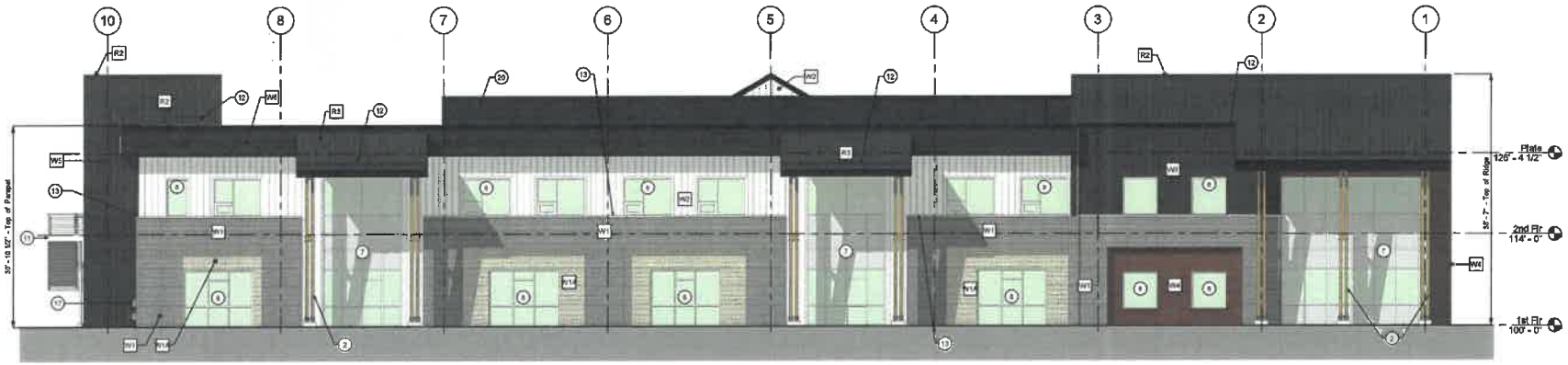
KEYNOTE LEGEND

Key Value	Description
1	Wood & steel column on concrete base.
2	Wood column and beam on concrete base.
3	Angled wood column and beam on concrete base.
4	Painted steel canopy.
7	Cafe wall system, refer to A7.1 and A7.2 for elevations, details, and dimensions
8	Storefront system, refer to A7.1 and A7.2 for elevations, details, and dimensions
9	Exterior insulated hollow metal door & frame w/ thermal threshold, painted.
10	Prefinished brake metal cap flashing, refer to section details
11	Painted steel stair stringers w/ continuous guardrail/handrail at egress stairs.
12	Show fence, refer to general system notes
13	Painted concrete substrate on brick veneer.
14	Electrical gear and meters painted to match adjacent building material
17	Gas meters per utility provider, paint to match adjacent wall material
18	Area lux per PFA requirements
19	Fire Department Connection
20	Mechanical screen. Berridge BR-12 on painted tube steel frame. See section and refer to structure. Refer to manuf. standard installation details for field conditions.
23	Mechanical louver, refer to mechanical drawing. Paint to match adjacent
29	Prefinished gutter and downspout, provide concrete splash block where surface draining, refer to civil
45	Bent Address Signs, 30"x10" Inscribed steel address panel for exterior walls.

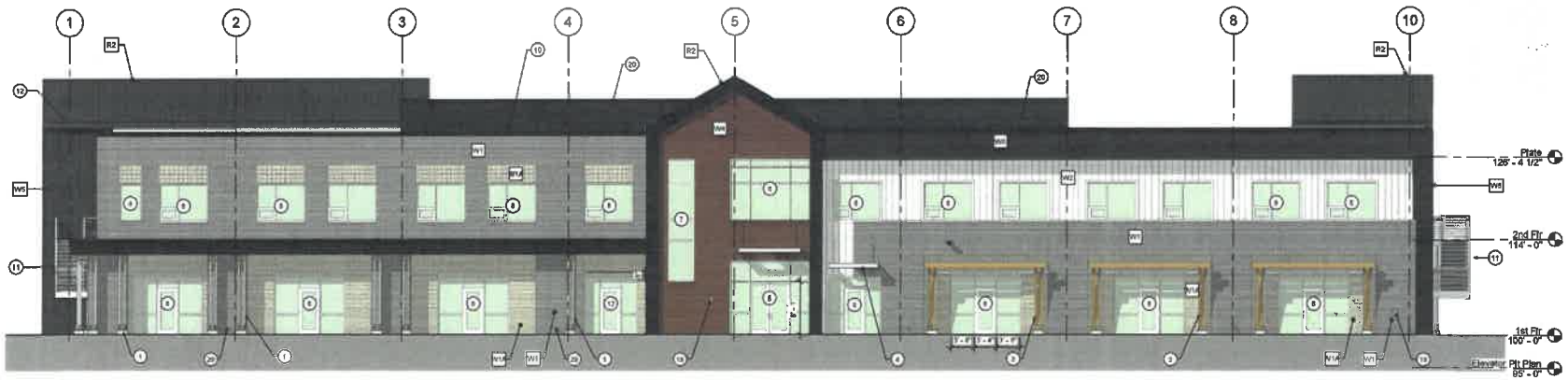
MATERIAL LEGEND

W1 Brick	**Modular Brick - 4" Veneer** Manuf: Summit Brick Product: Modular Brick, running bond + soldier as shown on elevations Color: Gray w/ Red	
W2 Brick	**Modular Brick - 4" Veneer** Manuf: TBD Product: Modular Brick, running bond + soldier as shown on elevations Color: Tan or Gray	
W3	**Board & Batten Cementitious siding** Manuf: James Hardie Product: Select Cedarmill Vertial Siding w/ Rustic Grain Batten Boards. Color: TBD White	
W4	**Faux Wood Siding** Manuf: Longboard Product: 6" V-Groove siding Color: TBD	
W5	**Standing Seam-Wall finish** Manuf: Berridge Product: Prefinished "Cee-lock" standing seam metal Color: Matte Black	
W6	**Metal Panel Wall finish** Manuf: Berridge Product: BR-12 Box rib metal panel Color: Matte Black	
R2 R3	**Standing Seam-Metal Roof** Manuf: Berridge Product: Prefinished "Cee-lock" standing seam metal Color: Matte Black & Gal-alume (see elevations)	

*Images are for representation only. Refer to elevations for colors



1 East Building Elevation
1/8" = 1'-0"



2 West Building Elevation
1/8" = 1'-0"

r4 Architects, Inc.
226 Remington St.
Unit #3
Fort Collins, CO 80524
PH. (970) 224-0439
www.r4architects.com

Not for Construction

In Association with:

Riverbend Development LLC — Ownership
7345 Greenwood Plaza Blvd
Windsor, CO 80550
Phone: (970) 219-1453
Contact: Alex Schoeneman
Email: Alex@schoeneman.com

Dohn Construction — General Contractor
2642 Midpoint Dr, Unit A
City, State, Zip
Phone: (970) 482-1453
Contact: Craig Dohn
Email: dohn@dohnconstruction.com

Larsen Structural Design — Structural Engineer
120 Maple St, Suite 120
Fort Collins, CO 80521
Phone: (970) 568-1055
Contact: Blake Larsen
Email: blake@larsensd.com

Integrated Mechanical — Mech/Plumbing Engineer
223 Linden St, Suite 204
Fort Collins, CO 80521
Phone: (970)484-8570
Contact: Todd Kelley
Email: todd@ie-mech.com

Electricon — Electrical Engineer
21101 Colleen Ridge Road
Severance, CO 80550
Phone: (970) 635-1004
Contact: Larry Smith
Email: Larry@electricon-eng.com

RidgeTop Engineering — Civil Engineer
541 East Garden Drive, Unit N
Windsor, CO 80550
Phone: (970) 663-6532
Contact: Max Beach
Email: mbeach@ridgetopeng.com

TB Group — Planning & Landscape
444 Mountain Avenue
Berthoud, CO 80513
Phone: (970)532-5891
Contact: Cathy Mathis & Jim Doyle
Email: cathy@tbgroup.us, doyle@tbgroup.us

Issued

No.	Description	Date
1	Site Plan Submittal #1	12/28/2021
2	Site Plan Submittal #2	06/03/2022
3	Site Plan Submittal #3	11/30/2022

Riverbend Lot 1 Mixed-use

Permit Issue

Project No.: 2021-34 | Drawn by: JDO | Reviewed by: MR

Exterior Elevations

Scale Accordingly If Reduced

Drawing Number

P-A2

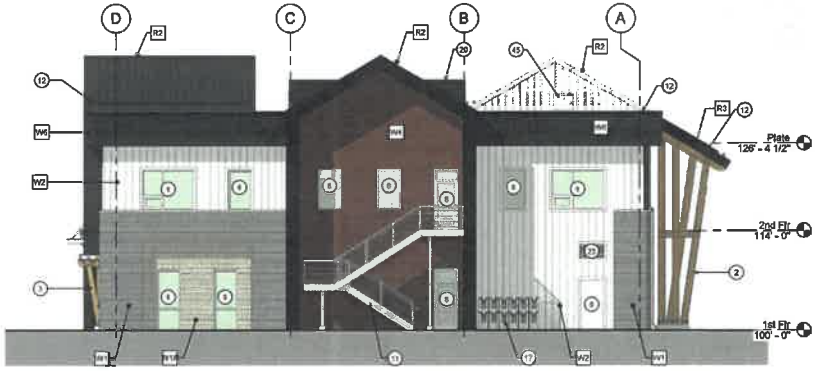
KEYNOTE LEGEND

Key Value	Description
1	Wood & steel column on concrete base.
2	Wood column and beam on concrete base.
3	Angled wood column and braces on concrete base.
4	Painted steel canopy.
7	Curtainwall system, refer to A7.1 and A7.2 for elevations, details, and dimensions
8	Storefront system, refer to A7.1 and A7.2 for elevations, details, and dimensions
9	Exterior insulated hollow metal door & frame w/ thermal threshold, painted.
10	Painted tube metal cap flashing, refer to section details
11	Painted steel stair stringers w/ continuous guardrail/handrail at egress stairs.
12	Snow fence, refer to general system notes
13	Precast concrete watertable on brick veneer
14	Electrical gear and meters painted to match adjacent building material
17	Gas meters per utility provider, paint to match adjacent wall material
18	Knox box per FPD requirements
19	Fire Department Connection
20	Mechanical screen. Berridge BR-12 on painted tube steel frame. See section and refer to structure. Refer to manuf. standard installation details for field conditions.
23	Mechanical louver, refer to mechanical drawing. Paint to match adjacent
26	Prefabricated gutter and downspout, provide concrete splash block where surface draining, refer to civil
43	Roof Access Door, 30"x30" insulated steel access panel for interior walls.

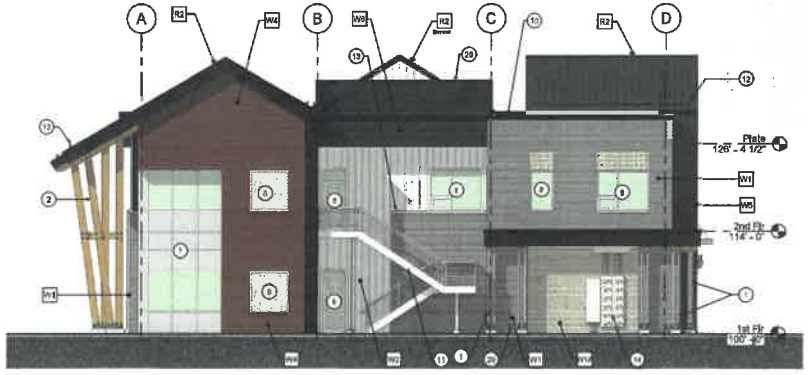
MATERIAL LEGEND

M1	**Modular Brick - 4" Veneer** Manuf: Summit Brick Product: Modular Brick, running bond + soldier as shown on elevations Color: Gray or Red	
M2 Accent	**Modular Brick - 4" Veneer** Manuf: TBD Product: Modular Brick, running bond + soldier as shown on elevations Color: Tan or Gray	
W3	**Board & Batten Cementitious Siding** Manuf: James Hardie Product: Select Cedarmill Vertical Siding w/ Rustic Grain Batten Boards, Color: TBD White	
W4	**Faux Wood Siding** Manuf: Longboard Product: 6" V-Groove siding Color: TBD	
W5	**Standing Seam-Wall Finish** Manuf: Berridge Product: Prefinished "Cee-lock" standing seam metal Color: Matte Black	
W6	**Metal Panel Wall Finish** Manuf: Berridge Product: BR-12 Box rib metal panel Color: Matte Black	
R2 R3	**Standing Seam-Metal Roof** Manuf: Berridge Product: Prefinished "Cee-lock" standing seam metal Color: Matte Black & Galvalume (see elevations)	

*Images are for representation only, Refer to elevations for colors



1 South Building Elevation
1/8" = 1'-0"



2 North Building Elevation
1/8" = 1'-0"

r4 Architects, Inc.
228 Remington St.
Unit #3
Fort Collins, CO 80524
PH. (970) 224-0430
www.r4architects.com

Not for Construction

In Association with:

Riverbend Development LLC — Owner
7585 Grandview Ave Ste 204
Windsor, CO 80550
Phone: (970) 219-1459
Contact: Alex Scherma
Email: Alex@sidermanco.com

Dohn Construction — General Contractor
2642 Midpoint Dr., Unit A
City, State, Zip
Phone: (970) 490-1855
Contact: Doug Dohn
E-mail: dohnconstruction@gmail.com

Larson Structural Design — Structural Engineer
516 Mason St., Suite 130
Fort Collins, CO 80521
Phone: (970) 568-3355
Contact: Blake Larson
Email: blake@larsensd.com

Integrated Mechanical — Mech/Plumbing Engineer
123 Lincoln St, Suite 204
Fort Collins, CO 80521
Phone: (970)556-0570
Contact: Scott Kelly
Email: scotk@imbmech.com

Electricon — Electrical Engineer
3101 Dalton Ridge Road
Severance, CO 80550
Phone: (970) 895-1004
Contact: Larry Smith
Email: Larry@electricon-eng.com

RidgeTop Engineering — Civil Engineer
841 Fair Garden Drive, Unit N
Windsor, CO 80550
Phone: (970)-353-4532
Contact: Mike Steck
Email: msteck@ridgetopeng.com

TB Group — Planning & Landscape
444 Mountain Avenue
Berthoud, CO 80513
Phone: (970)532-5891
Contact: Cathy Mathis & Jim Doyle
Email: cathy@tbgroup.us, doyle@tbgroup.us

Issued

No.	Description	Date
1	Site Plan Submittal #1	12/28/2021
2	Site Plan Submittal #2	06/02/2022
3	Site Plan Submittal #3	11/30/2022

Riverbend Lot 1 Mixed-use

Permit Issue

Project No.: 2021-34 Drawn by: JDO
Reviewed by: MK

Exterior Elevations

Scale Accordingly If Reduced

Drawing Number
P-A3

1 View looking SE

2 View looking NW

3 View looking NE

4 View looking SW

r4 Architects, Inc.
226 Remington St.
Unit #3
Fort Collins, CO 80524
PH. (970) 224-0630
www.r4architects.com

Not for Construction

In Association with:

Riverbend Development LLC — Ownership
7395 Greenspoint Road Blvd
Windsor, CO 80550
Phone: (970) 219-1493
Contact: Alex Schaman
Email: Alex@schamanco.com

Dohn Construction — General Contractor
2642 Midpoint Dr., Unit A
City, State, Zip
Phone: (970) 493-1855
Contact: Doug Dohn
Email: doug@dohnconstruction.com

Larsen Structural Design — Structural Engineer
105 Maple St., Suite 120
Fort Collins, CO 80521
Phone: (970) 568-3355
Contact: Blake Larsen
Email: blake@larsensd.com

Integrated Mechanical — Mech/Plumbing Engineer
223 Linden St, Suite 204
Fort Collins, CO 80521
Phone: (970)664-2670
Contact: Scott Kelley
Email: scott@idmech.com

Electricon — Electrical Engineer
9157 Dean Ridge Road
Longmont, CO 80550
Phone: (970) 498-1004
Contact: Larry Smith
Email: Larry@electricon-eng.com

RidgeTop Engineering — Civil Engineer
501 East Garden Drive, Unit N
Windsor, CO 80550
Phone: (970)-686-4552
Contact: Mike Dueck
Email: mdueck@ridgetopeng.com

TB Group — Planning & Landscape
444 Mountain Avenue
Berthoud, CO 80513
Phone: (970)532-5891
Contact: Cathy Mobbs & Jim Doyle
Email: cathy@tbgroup.us, doyle@tbgroup.us

Issued

No.	Description	Date
1	Site Plan Submittal #1	12/30/2021
2	Site Plan Submittal #2	06/30/2022
3	Site Plan Submittal #3	11/30/2022

Riverbend Lot 1 Mixed-use

Permit Issue

Project No.: 2021-34 | Drawn by: JDD | Reviewed by: MR

3D Images

Scale Accordingly If Reduced

Drawing Number

P-A4

KEYNOTE LEGEND

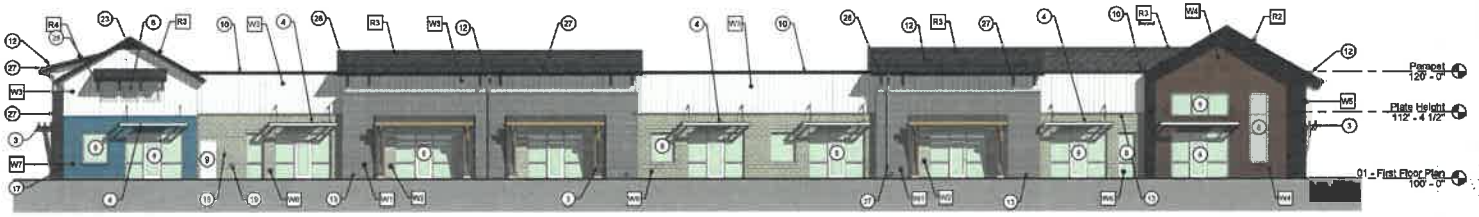
Key Value	Description
3	Angled wood column and trellis on concrete base.
4	Painted steel canopy.
6	30"x48" Roof access hatch w/ roof curb and ladder, refer to detail this sheet
7	Storefront system, refer to A2.1 and A2.2 for dimensions, details and dimensions
8	Exterior insulated hollow metal door & frame w/ thermal threshold, painted.
10	Prefinished brake metal cap flashing, refer to section details
11	Steel Access Doors, 30"x30" insulated steel access panel for exterior walls.
12	Stone fence, refer to general system notes
13	Lambs tongue, drain to sidewalk chase, connect to underground storm roof drain, refer to Mech and Civil
14	Electrical gear and meters painted to match adjacent building material
17	Gas meter(s) per utility provider, paint to match adjacent wall material
18	Knox box per FPA requirements
19	Fire Department Connection
20	Roof walkway pads of contrasting color. Layout as required for service access to all current and future roof top equipment and attic access doors.
21	Roof/Overflow drain. Extend RD to site storm drain. Connect OD to landscape. Provide splash chaise to TBD
22	Future roof top equipment per upgrade tenant finish submittal. Install roof curb as part of core/shell project refer to mechanical
23	E.O.G. Kawa Millwork Gabel end vent/louver, 70 1/2"x 26 1/2" @ 7/12 pitch, NFA of 189 sq. in. Paint to match adjacent
27	Prefinished gutter and downspout, provide concrete splash block where surface shedding, refer to civil
28	Exposed gusset knee brackets. Industrial grade 545 no putty, stain and seal, color TBD.
30	Flat fascia trim board, refer to section details

MATERIAL LEGEND

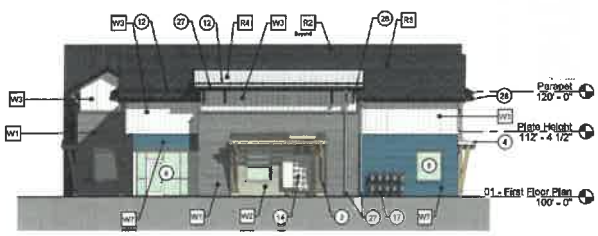
W1	**Modular Brick - 4" Veneer** Manuf: Summit Brick Product: Modular Brick, running bond + soldier as shown on elevations Color: Gray or Red		W6	**CMU Veneer** Manuf: Colorado Bed Stock Product: Split Face Veneer Color: #637	
W2	**Modular Brick - 4" Veneer** Manuf: TBD Product: Modular Brick, running bond + soldier as shown on elevations Color: Tan or Gray		W7	**Lap Siding** Manuf: LP Smart Side Product: LP Lap Siding, 4" exposure Color: TBD	
W3	**Board & Batten Cementitious siding** Manuf: James Hardie Product: Select Cedarmill Vertial Siding w/ Rustic Grain Batten Boards. Color: TBD White		R3	**Standing Seam-Metal Roof** Manuf: Berridge Product: Prefinished "Cee-lock" standing seam metal Color: Matte Black & Galvalume (see elevations)	
W4	**Faux Wood Siding** Manuf: Longboard Product: 6" V-Groove siding Color: TBD		R3	**High Profile Asphalt Shingles** Manuf: Owens Corning Product: Duration Color: Onyx Black	
W5	**Standing Seam-Wall finish** Manuf: Metal Sales Product: 6" Mini-Batten, with 12" Coverage Color: Matte Black				

Glazing: 1330 s.f
Wall Surface to Plate: 2,787 s.f.
Transparency: 48%

1 North Planning Elevation
3/32" = 1'-0"



2 South Planning Elevation
3/32" = 1'-0"



4 West Planning Elevation
3/32" = 1'-0"

3 East Planning Elevation
3/32" = 1'-0"

r4 Architects, Inc.
225 Remington
Unit B3
Fort Collins, CO 80524
Phone (970) 224-0630
www.r4architects.com

Not for Construction

In Association with:

Riverbend Development LLC — Ownership
1305 Greenside Road #104
Windsor, CO 80550
Phone: (970) 214-1483
Contact: Philip Schuerman
E-mail: philip@schuermanco.com

Dohn Construction — General Contractor
2642 Midpoint Dr., Unit A
City, State, Zip
Phone: (970) 482-1853
Contact: Doug Dohn
E-mail: ddohn@dohnconstruction.com

Larsen Structural Design — Structural Engineer
320 Mason St. Suite 120
Fort Collins, CO 80521
Phone: (970) 565-3365
Contact: Blake Larsen
Email: blake@larsensd.com

Integrated Mechanical — Mech/Plumbing Engineer
225 Linden St. Suite 204
Fort Collins, CO 80521
Phone: (970)484-0570
Contact: Scott Kelley
Email: scott@intmech.com

Electricom — Electrical Engineer
5721 Calkins Ridge Road
Severance, CO 80550
Phone: (970) 895-1004
Contact: Larry Smith
Email: Larry@electricom-eng.com

RidgeTop Engineering — Civil Engineer
54 East Garden Drive, Unit N
Windsor, CO 80550
Phone: (970)-663-4652
Contact: Mike Beach
Email: mbeach@ridgetopeng.com

TB Group — Planning & Landscape
444 Mountain Avenue
Berthoud, CO 80513
Phone: (970)532-5891
Contact: Cathy Mathis & Jim Doyle
Email: cathy@tbgroup.us, doyle@tbgroup.us

Issued

No.	Description	Date
1	Site Plan Submittal #1	12/23/2021
4	Site Plan Submittal #3	11/30/2022

Riverbend Lot 1 Retail

Planning Submittal

Project No.: 2021-34 | Drawn by: JDO | Reviewed by: MR

Exterior Elevations

Scale Accordingly If Reduced

Drawing Number

P-A5

1 View looking southwest

2 View looking NE

3 Looking Northwest

r4 Architects, Inc.
225 Remington
Unit B3
Fort Collins, CO 80524

Phone (970) 224-9630
www.r4architects.com

Not for Construction

In Association with:

Riverbend Development LLC — Ownership
1705 Greenside Road #104
Windsor, CO 80550
Phone: (970) 214-1403
Contact: Philip Schuman
E-mail: philip@schumanco.com

Dohn Construction — General Contractor
2440 Midpoint Dr., Unit A
City, State, Zip
Phone: (970) 490-1955
Contact: Doug Dohn
E-mail: doug@dohnconstruction.com

Larsen Structural Design — Structural Engineer
3300 Mason St., Suite 120
Fort Collins, CO 80521
Phone: (970) 568-3355
Contact: Blake Larsen
E-mail: blake@larsensd.com

Integrated Mechanical — Mech/Plumbing Engineer
2317 Linden St. Suite 204
Fort Collins, CO 80521
Phone: (970)556-0570
Contact: Scott Keller
Email: scott-k@integ-mech.com

Electricon — Electrical Engineer
3101 Sullivan Ridge Road
Livermore, CO 80530
Phone: (970) 495-1004
Contact: Larry Smith
Email: Larry@electricon-eng.com

RidgeTop Engineering — Civil Engineer
541 Sun Garden Drive, Unit N
Windsor, CO 80550
Phone: (970)-493-4552
Contact: Mike Reed
E-mail: mreed@ridgetopeng.com

TB Group — Planning & Landscape
444 Mountain Avenue
Berthoud, CO 80513
Phone: (970)532-5891
Contact: Cathy Mathis & Joe Dogts
Email: cathy@tbgroup.us, dogts@tbgroup.us

Issued

No.	Description	Date
1	Site Plan Submittal #1	12/28/2021
2	Site Plan Submittal #2	06/03/2022
4	Site Plan Submittal #3	11/09/2022

Riverbend Lot 1 Retail

Planning Submittal

Project No.: 2021-34 | Drawn by: JDD | Reviewed by: MK

3D Images

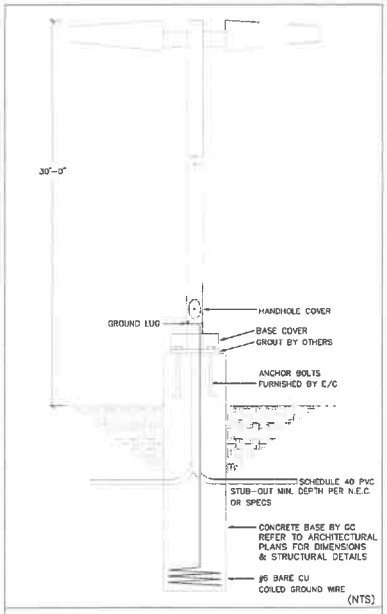
Scale Accordingly If Reduced

Drawing Number

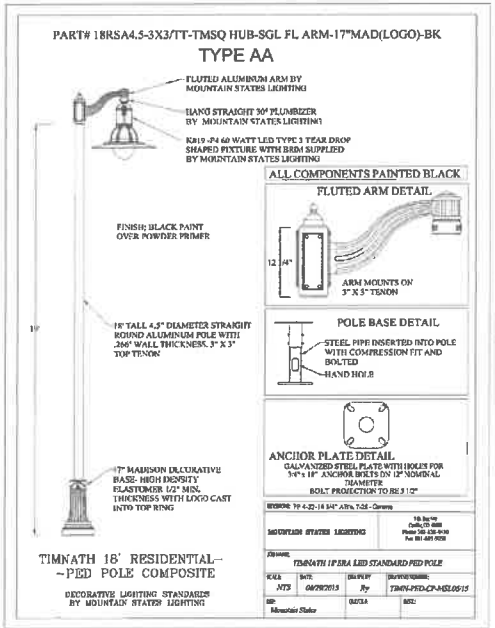
P-A6

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO



FIXTURE AABLC, AA2, AA3 & AA3T



SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'

Know what's below. Call before you dig.

TOWN OF TIMNATH, CO
DRAWING APPROVAL

REVIEW IS FOR GENERAL COMPLIANCE WITH TOWN STANDARDS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DESIGN.

BY_____ DATE_____
TOWN ENGINEER

Electricon
Electrical Engineering
97127 Gallison Ridge Road
Stevensville, CO 59860
970.686.1004
larry@electricon-eng.com

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PHOTOMETRICS

DRAWN BY:	LMS
CHECKED BY:	LMS
PROJECT NO.:	21204

REVISIONS

PHOTOMETRIC SET	12/22/21
UPDATE	6/08/22
UPDATE	12/14/22
UPDATE	2/08/23

DATE
6/08/2022

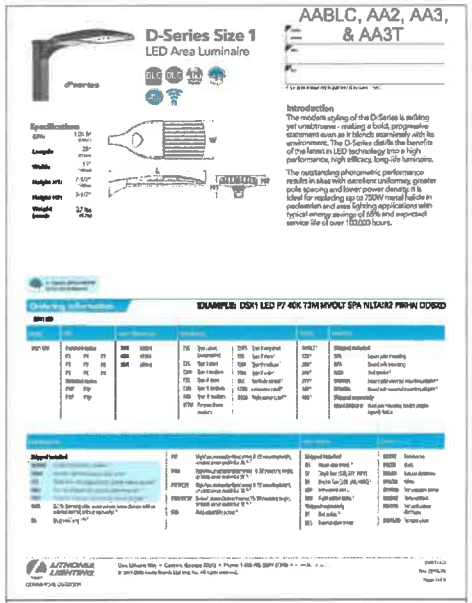
SHEET TITLE
SITE PHOTOMETRIC PLAN

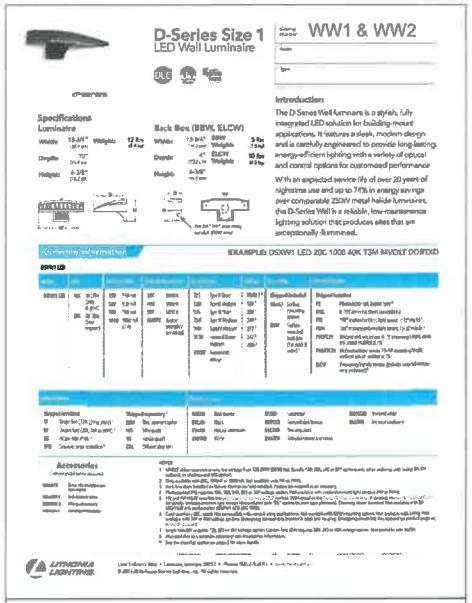
SHEET NUMBER
SP-1

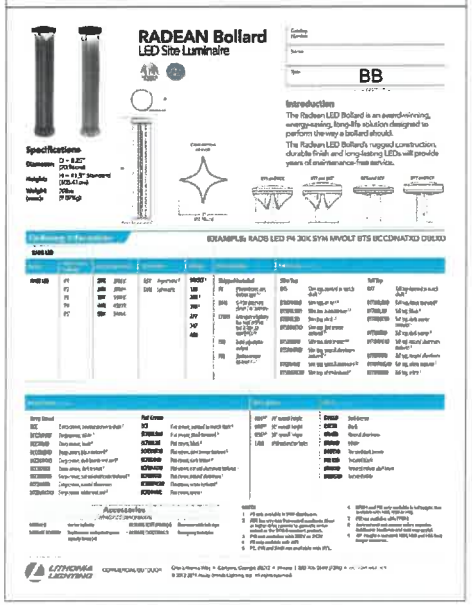
File: SP-1 Site Photometric Plan-21204.dwg Path: C:\Electricon\21204 Riverbend Hanna Use\Photo\ Plotted by: larry Date: 08-Feb-23 10:11:48am

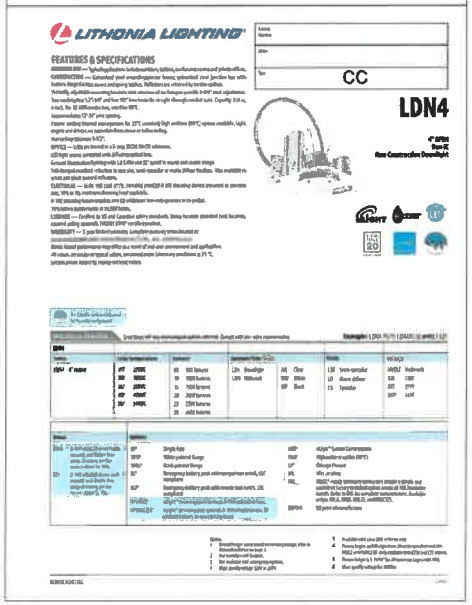
RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO









Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Efficiency	Distribution	Notes
	AA	2	Cree Luminaire	KB2-P4SW-4-80L [illegible] -5000	MV, AP LOGO AND LAB ID NUMBER SHALL NOT BE USED BY THE EXCEPT TO CLAIM THE PRODUCT CERTIFICATION, APPROVAL, OR ENDORSEMENT GOVERNMENT AGENCY. CALIBRATION LAMP (1000-1[illegible]) REST TRACEABLE THROUGH REPORT 81[illegible]	LED	1	DSX0SP4SW1YD-604200D.ies	7372	1	59.4	100%	TYPE IV, SHORT, BUG RATING: B1 – U0 – G1	
	AABLC	3	Lithonia Lighting	DSX0 LED P1 30K BLC DSX0 LED P1 30K BLC MVOLT	LED	1	DSX0_LED_P1_30K_BLC_MVOLT.ies	3685	1	36	100%	TYPE IV, SHORT, BUG RATING: B1 – U0 – G1	
	AA2	2	Lithonia Lighting	DSX1 LED P3 30K T3M DSX1 LED P3 30K T3M MVOLT	LED	1	DSX1_LED_P3_30K_T3M_MVOLT.ies	6240	1	70	100%	TYPE III, MEDIUM, BUG RATING: B2 – U0 – G2	
	AA3	1	Lithonia Lighting	DSX1 LED P1 30K T3M DSX1 LED P1 30K T3M MVOLT	LED	1	DSX1_LED_P1_30K_T3M_MVOLT.ies	6379	1	84	100%	TYPE III, MEDIUM, BUG RATING: B2 – U0 – G2	
	AA3T	8	Lithonia Lighting	DSX0 LED P1 30K T3M DSX0 LED P1 30K T3M MVOLT	LED	1	DSX0_LED_P1_30K_T3M_MVOLT.ies	4348	1	75	100%	TYPE III, MEDIUM, BUG RATING: B1 – U0 – G1	
	BB	7	Lithonia Lighting	RADB LED P3 30K 5YN RADB LED P3 30K 5YN MVOLT DDBXD	LED	1	RADB_LED_P3_30K_5YN_MVOLT_DDBXD.ies	286	1	5.31	100%	TYPE I, VERY SHORT, BUG RATING: B0 – U0 – G0	
	CC	6	Lithonia Lighting	LDN4 30/05 L04AR LDN4 LDN4, 3000K, 500LM, 80 CRI, CLEAR, SPECULAR REFLECTOR	LED	1	LDN4_30_05_L04AR_LS.ies	886	1	8.58	100%	DIRECT, SC-Cu=1.04, SC-So=1.08	
	WW1	14	Lithonia Lighting	DSXW1 LED 10C 350 30K T23 MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T23 OPTIC, 3000K, @ 350mA.	LED	1	DSXW1_LED_10C_350_30K_T23_MVOLT.ies	1415	1	13.3	100%	TYPE III, SHORT, BUG RATING: B0 – U0 – G1	
	WW2	15	Lithonia Lighting	DSXW1 LED 10C 700 30K 4SYDF MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE 4SYDF OPTIC, 3000K, @ 700mA.	LED	1	DSXW1_LED_10C_700_30K_4SYDF_MVOLT.ies	2337	1	28.2	100%	TYPE IV, VERY SHORT, BUG RATING: B1 – U0 – G1	

Luminaire Locations

No.	Label	Location X	Location Y	Location Z	Aim X	Aim Y	Aim Z	Orientation	Tilt
1	AA	314867.02	1433864.00	18.00	314867.02	1433863.[illegible]	0.00	195.27	0.00
2	AA	314917.00	1433836.00	18.00	314917.00	1433835.[illegible]	0.00	195.27	0.00
7	AA3T	314800.00	1433827.00	20.00	314800.00	1433826.[illegible]	0.00	90.00	0.00
	AA3T-1	314801.00	1433827.00	20.00	314801.00	1433827.[illegible]	0.00	90.00	0.00
	AA3T-2	314999.00	1433827.00	20.00	314999.00	1433827.[illegible]	0.00	270.00	0.00
8	AA3T	314938.00	1433827.00	20.00	314938.00	1433826.[illegible]	0.00	90.00	0.00
	AA3T-1	314939.00	1433827.00	20.00	314939.00	1433827.[illegible]	0.00	90.00	0.00
	AA3T-2	314837.00	1433827.00	20.00	314837.00	1433827.[illegible]	0.00	270.00	0.00
1	AA2	314580.00	1433880.00	20.00	314580.00	1433881.[illegible]	0.00	90.00	0.00
2	AA2	314578.00	1433759.00	20.00	314578.00	1433758.[illegible]	0.00	85.23	0.00
3	AA3	314672.00	1433921.00	20.00	314672.00	1433922.[illegible]	0.00	0.00	0.00
4	AABLC	314616.00	1433921.00	20.00	314616.00	1433921.[illegible]	0.00	270.00	0.00
5	AABLC	314617.00	1433853.00	20.00	314617.00	1433853.[illegible]	0.00	15.41	0.00
6	AABLC	314594.00	1433851.00	20.00	314594.00	1433851.[illegible]	0.00	15.41	0.00
1	BB	314585.00	1434001.00	3.00	314585.00	1434000.[illegible]	0.00	90.00	0.00
2	BB	314583.00	1434000.00	3.00	314583.00	1433999.[illegible]	0.00	90.00	0.00
3	BB	314606.00	1434000.00	3.00	314606.00	1434000.[illegible]	0.00	270.00	0.00
4	BB	314606.00	1433970.00	3.00	314606.00	1433969.[illegible]	0.00	270.00	0.00
5	BB	314604.00	1433917.00	3.00	314604.00	1433917.[illegible]	0.00	180.00	0.00
7	BB	314608.00	1433864.00	3.00	314608.00	1433864.[illegible]	0.00	270.00	0.00
8	BB	314601.00	1433817.00	3.00	314601.00	1433817.[illegible]	0.00	180.00	0.00
1	CC	314608.00	1433872.00	11.00	314608.00	1433872.[illegible]	0.00	270.00	0.00
2	CC	314608.00	1433876.00	11.00	314608.00	1433876.[illegible]	0.00	270.00	0.00
3	CC	314608.00	1433878.00	11.00	314608.00	1433878.[illegible]	0.00	270.00	0.00
4	CC	314608.00	1433881.00	11.00	314608.00	1433881.[illegible]	0.00	270.00	0.00
5	CC	314608.00	1433883.00	11.00	314608.00	1433883.[illegible]	0.00	270.00	0.00
1	WW1	314613.00	1434021.00	10.00	314613.00	1434021.[illegible]	0.00	90.00	0.00
2	WW1	314613.00	1434009.00	9.70	314613.00	1434009.[illegible]	0.00	90.00	0.00
3	WW1	314617.00	1433883.00	9.00	314617.00	1433883.[illegible]	0.00	270.00	0.00
4	WW1	314618.00	1433922.00	9.00	314618.00	1433922.[illegible]	0.00	180.00	0.00
5	WW1	314618.00	1433880.00	9.00	314618.00	1433880.[illegible]	0.00	180.00	0.00
1	WW2	314528.00	1433878.00	9.70	314528.00	1433878.[illegible]	0.00	270.00	0.00
2	WW2	314524.00	1433878.00	9.70	314524.00	1433878.[illegible]	0.00	270.00	0.00
3	WW2	314530.00	1433877.00	9.70	314530.00	1433877.[illegible]	0.00	180.00	0.00
4	WW2	314528.00	1433876.00	9.70	314528.00	1433876.[illegible]	0.00	180.00	0.00
5	WW2	314530.00	1433876.00	9.70	314530.00	1433876.[illegible]	0.00	180.00	0.00
6	WW2	314605.00	1433876.00	9.70	314605.00	1433876.[illegible]	0.00	180.00	0.00
7	WW2	314535.00	1433878.00	9.70	314535.00	1433878.[illegible]	0.00	180.00	0.00
8	WW2	314458.00	1433878.00	9.70	314458.00	1433878.[illegible]	0.00	180.00	0.00
9	WW2	314580.00	1433878.00	9.70	314580.00	1433878.[illegible]	0.00	180.00	0.00
10	WW2	314581.00	1434000.00	10.00	314581.00	1434000.[illegible]	0.00	90.00	0.00
11	WW2	314583.00	1434000.00	10.00	314583.00	1434000.[illegible]	0.00	90.00	0.00
12	WW2	314607.00	1434000.00	10.00	314607.00	1434000.[illegible]	0.00	90.00	0.00
13	WW2	314617.00	1433883.00	9.00	314617.00	1433883.[illegible]	0.00	270.00	0.00
14	WW2	314617.00	1433922.00	9.00	314617.00	1433922.[illegible]	0.00	180.00	0.00
15	WW2	314618.00	1433880.00	9.00	314618.00	1433880.[illegible]	0.00	180.00	0.00
1	WW2	314528.00	1433878.00	9.70	314528.00	1433878.[illegible]	0.00	270.00	0.00
2	WW2	314524.00	1433878.00	9.70	314524.00	1433878.[illegible]	0.00	270.00	0.00
3	WW2	314530.00	1433877.00	9.70	314530.00	1433877.[illegible]	0.00	180.00	0.00
4	WW2	314528.00	1433876.00	9.70	314528.00	1433876.[illegible]	0.00	180.00	0.00
5	WW2	314530.00	1433876.00	9.70	314530.00	1433876.[illegible]	0.00	180.00	0.00
6	WW2	314605.00	1433876.00	9.70	314605.00	1433876.[illegible]	0.00	180.00	0.00
7	WW2	314535.00	1433878.00	9.70	314535.00	1433878.[illegible]	0.00	180.00	0.00
8	WW2	314458.00	1433878.00	9.70	314458.00	1433878.[illegible]	0.00	180.00	0.00
9	WW2	314580.00	1433878.00	9.70	314580.00	1433878.[illegible]	0.00	180.00	0.00
10	WW2	314581.00	1434000.00	10.00	314581.00	1434000.[illegible]	0.00	90.00	0.00
11	WW2	314583.00	1434000.00	10.00	314583.00	1434000.[illegible]	0.00	90.00	0.00
12	WW2	314607.00	1434000.00	10.00	314607.00	1434000.[illegible]	0.00	90.00	0.00
13	WW2	314617.00	1433883.00	9.00	314617.00	1433883.[illegible]	0.00	270.00	0.00
14	WW2	314617.00	1433922.00	9.00	314617.00	1433922.[illegible]	0.00	180.00	0.00
15	WW2	314618.00	1433880.00	9.00	314618.00	1433880.[illegible]	0.00	180.00	0.00
1	WW2	314071.00	1433724.00	9.70	314071.00	1433724.[illegible]	0.00	270.00	0.00
2	WW2	314071.00	1433724.00	9.70	314071.00	1433724.[illegible]	0.00	270.00	0.00
3	WW2	314071.00	1433726.00	9.70	314071.00	1433726.[illegible]	0.00	270.00	0.00
4	WW2	314071.00	1433728.00	9.70	314071.00	1433728.[illegible]	0.00	270.00	0.00
5	WW2	314071.00	1433728.00	9.70	314071.00	1433728.[illegible]	0.00	270.00	0.00
6	WW2	314071.00	1433765.00	9.70	314071.00	1433765.[illegible]	0.00	270.00	0.00
7	WW2	314071.00	1433815.00	20.00	314071.00	1433815.[illegible]	0.00	270.00	0.00
8	WW2	314071.00	1433869.00	20.00	314071.00	1433869.[illegible]	0.00	270.00	0.00
9	WW2	314071.00	1433869.00	20.00	314071.00	1433869.[illegible]	0.00	270.00	0.00
10	WW2	314071.00	1433869.00	20.00	314071.00	1433869.[illegible]	0.00	270.00	0.00
11	WW2	314071.00	1433869.00	20.00	314071.00	1433869.[illegible]	0.00	270.00	0.00
12	WW2	314071.00	1433869.00	20.00	314071.00	1433869.[illegible]	0.00	270.00	0.00
13	WW2	314071.00	1433869.00	20.00	314071.00	1433869.[illegible]	0.00	270.00	0.00
14	WW2	314071.00	1433869.00	20.00	314071.00	1433869.[illegible]	0.00	270.00	0.00
15	WW2	314071.00	1433869.00	20.00	314071.00	1433869.[illegible]	0.00	270.00	0.00

Statistics

Description	Symbol	Avg	Min	Max/Min	Avg/Min	Max
Property Area		1.8 fc	0.1 fc	23.0:1	23.0:1	3.3 fc
Bldg 1 East Sidewalk		7.0 fc	0.1 fc	24.0:1	24.0:1	3.4 fc
Bldg 1 N Sidewalk		3.8 fc	0.2 fc	34.3:1	17.0:1	5.8 fc
Bldg 1 W Patio		1.7 fc	1.3 fc	2.1:1	1.3:1	2.2 fc
Bldg 2 N Sidewalk		1.4 fc	0.3 fc	12.0:1	4.8:1	2.0 fc
Bldg 2 S Sidewalk		1.3 fc	0.3 fc	16.0:1	4.3:1	2.1 fc
Bldg 2 W Sidewalk		0.4 fc	0.1 fc	8.0:1	4.0:1	0.8 fc
Boundary		0.0 fc	0.0 fc	N/A	N/A	0.0 fc
Landscaping Perimeter		0.3 fc	0.0 fc	N/A	N/A	2.4 fc
Parking		1.9 fc	0.4 fc	5.5:1	3.5:1	2.3 fc
South Drive		1.1 fc	0.0 fc	N/A	N/A	6.0 fc

811
Know what's below.
Call before you dig.

TOWN OF TIMNATH, CO
DRAWING APPROVAL
REVIEW IS FOR GENERAL COMPLIANCE WITH TOWN STANDARDS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DESIGN.
BY_____ DATE_____
TOWN ENGINEER

Electricon
Electrical Engineering
37127 Cullinan Ridge Road
Brooomfield, CO 80602
970.646.9964
barry@electriconeng.com

SEAL

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PHOTOMETRICS

DRAWN BY:	LNS
CHECKED BY:	LNS
PROJECT NO.:	21204

REVISIONS	
PHOTOMETRIC SET	12/22/21
UPDATE	6/08/22
UPDATE	12/14/22
UPDATE	2/09/23

DATE
6/08/2022

SHEET TITLE
SITE PHOTOMETRIC SPECIFICATIONS

SHEET INFORMATION
SP-2

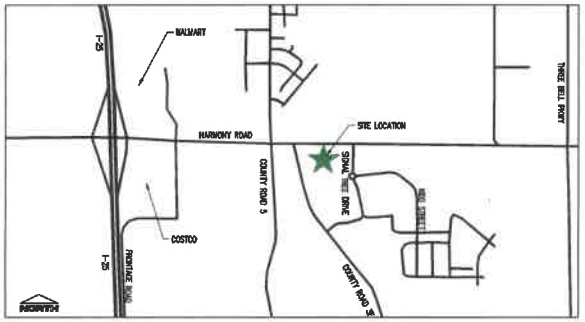
File: SP-2 Site Photometric Specifications-21204.pln | Path: C:\Electricon\21204 Riverbend Blend Use\Photo | Plotted by: Barry | Date: 08-Feb-23 10:15:53am

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO

GENERAL EROSION CONTROL NOTES

1. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY PLS GROUP, DATED 12/12/2016. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
2. CAUTION – NOTICE TO CONTRACTOR:
   THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE MOST CURRENT APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR PREVENTING SILT-LADEN RUNOFF FROM DISCHARGING FROM THE PROJECT SITE. FAILURE BY THE CONTRACTOR CAN RESULT IN A FINE. THE DESIGNATED TEMPORARY CONTACT PERSON NOTED ON THIS PLAN MUST BE AVAILABLE FOR CONTACT BY TELEPHONE ON A 24 HOUR BASIS THROUGHOUT CONSTRUCTION AND UNTIL THE PROJECT HAS BEEN COMPLETED AND APPROVED BY THE GOVERNMENTAL AGENCY WITH JURISDICTION.
5. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR FROM THE BEGINNING OF CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED BY THE GOVERNMENTAL AGENCY WITH JURISDICTION AND THE SITE IS STABILIZED.
6. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED AND INSPECTED BY THE LOCAL JURISDICTION PRIOR TO ANY CLEARING OR CONSTRUCTION TAKING PLACE. DURING CONSTRUCTION, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE OWNER AND/OR CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
7. THE EROSION AND SEDIMENTATION CONTROL FACILITIES SHOWN ON THIS PLAN ARE TO BE CONSIDERED ADEQUATE BASIC REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING CONSTRUCTION, DEVIATIONS FROM THIS PLAN MAY BE NECESSARY IN ORDER TO MAINTAIN WATER QUALITY.
8. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR ON A FREQUENT BASIS AND IMMEDIATELY AFTER EACH RAINFALL, AND MAINTAINED AS NECESSARY TO INSURE THEIR CONTINUED FUNCTIONING. ALL SEDIMENT MUST BE REMOVED FROM SILT FENCES, STRAW BALES, SEDIMENT PONDS, ETC. PRIOR TO THE SEDIMENT REACHING 1/2 ITS MAXIMUM POTENTIAL DEPTH.
9. AT NO TIME SHALL CONCRETE, CONCRETE BYPRODUCTS, VEHICLE FLUIDS, PAINT, CHEMICALS, OR OTHER POLLUTING MATTER BE PERMITTED TO DISCHARGE TO THE TEMPORARY OR PERMANENT DRAINAGE SYSTEM, OR TO DISCHARGE FROM THE PROJECT SITE.
10. THE CONTRACTOR PERFORMING THE WORK SHALL MAINTAIN A SET OF THE APPROVED CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES WHILE CONSTRUCTION IS IN PROGRESS.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PERFORMING THE WORK TO OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
12. THE CONTRACTOR PERFORMING THE WORK SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE TRAFFIC CONTROL AT ALL TIMES DURING CONSTRUCTION ALONGSIDE OR WITHIN ALL PUBLIC ROADWAYS.
13. THIS APPROVED "TEMPORARY EROSION AND SEDIMENTATION CONTROL PLAN" MUST BE IMPLEMENTED PRIOR TO ANY SITE WORK. SEE THE PLANS AND DETAILS FOR FURTHER INFORMATION.
14. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER IN THE EVENT OF DISCOVERY OF POOR SOILS, GROUNDWATER OR DISCREPANCIES IN THE EXISTING CONDITIONS AS NOTED ON THE PLANS.
15. MAXIMUM SLOPES SHALL BE 3:1 HORIZ:VERT FOR FILL SLOPES, AND 2:1 HORIZ:VERT FOR CUT SLOPES.
16. ROCKERIES OR OTHER RETAINING FACILITIES EXCEEDING 4' IN HEIGHT REQUIRE A SEPARATE PERMIT.
17. ALL AREAS DISTURBED DURING CONSTRUCTION WHERE PERMANENT LANDSCAPING WILL NOT BE PROVIDED WITHIN THE NUMBER OF DAYS SPECIFIED BELOW SHALL BE HYDROSEEDED, OR OTHERWISE STABILIZED, AS REQUIRED. STRAW MULCHING OR PLASTIC SHEETING ARE ACCEPTABLE ALTERNATIVES TO TEMPORARY HYDROSEEDING DURING PERIODS OF LOW GROWTH.
18. SLOPE STABILIZATION. CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. ROUGHENED SOIL SURFACES ARE PREFERRED TO SMOOTH SURFACES. INTERCEPTORS SHOULD BE CONSTRUCTED AT THE TOP OF LONG, STEEP SLOPES WHICH HAVE SIGNIFICANT AREAS ABOVE THAT CONTRIBUTE RUNOFF. CONCENTRATED RUNOFF SHOULD NOT BE ALLOWED TO FLOW DOWN THE FACE OF A CUT OR FILL SLOPE UNLESS CONTAINED WITHIN AN ADEQUATE CHANNEL OR PIPE SLOPE DRAIN. WHEREVER A SLOPE FACE CROSSES A WATER SEEPAGE PLANE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHOULD BE PROVIDED. IN ADDITION, SLOPES SHOULD BE STABILIZED IN ACCORDANCE WITH ITEM (17) ABOVE.
19. STORM DRAIN INLET PROTECTION. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
20. REFER TO PROJECT SPECIFICATIONS FOR SURFACE WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE.
21. ANY MUD OR DEBRIS THAT IS TRACKED ON TO PUBLIC STREETS MUST BE CLEANED UP WITHIN 24 HOURS.



VICINITY MAP

1" = 1000'

LEGEND

EX. CONTOUR
LIMITS OF CONSTRUCTION
PROPERTY LINE

EROSION DETAILS

VTC VEHICLE TRACKING CONTROL
SF SILT FENCE
CWA CONCRETE WASHOUT
SSA STABILIZED STAGING AREA

ACREAGE SUMMARY (IN ACRES)

SITE AREA	4.35 AC±
ON-SITE DISTURBED AREA	4.35 AC±
OFF-SITE DISTURBED AREA	4.18 AC±
TOTAL DISTURBED AREA	8.53 AC±

SEEDING NOTE:

TEMPORARY SEEDING – ALL BARE GROUND WHERE CONSTRUCTION ACTIVITY WILL NOT TAKE PLACE, FOR LONGER THAN 30 DAYS MUST BE SEEDED WITHIN 14 DAYS WITH FAST-GERMINATING TEMPORARY SEED AND PROTECTED WITH MULCH, SOIL TACKIFIER, OR ROLLED SLOPE PROTECTION BLANKET.

PERMANENT SEEDING – SEE PROJECT LANDSCAPE PLANS FOR REQUIREMENTS.

NOTE TO CONTRACTOR:
WHILE THE LIMITS OF DISTURBANCE SHOWN INCLUDES ALL OF THE SITE, THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATURAL VEGETATION AS MINIMALLY AS NECESSARY TO COMPLETE THE PROPOSED WORK. TEMPORARY/PERMANENT SEEDING SHALL ONLY APPLY TO THOSE AREAS DISTURBED.

NOTE TO CONTRACTOR:
SANDSTONE/BEDROCK EXISTS THROUGHOUT THE SITE AT VARIOUS DEPTHS. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH PLANS AND REPORTS. REFER TO GEOTECH REPORT FOR LOCATION AND DEPTH OF SANDSTONE/BEDROCK.

WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, LP.

1 inch = 50 ft.

Know what's below. Call before you dig.

LOGO
RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Unit N
Windsor, CO 80550
T (970) 673-5502
W ridgetopeng.com

SEAL

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY:	JS
CHECKED BY:	MRB
PROJECT NO.:	—

REVISIONS

COMMENTS	6/2022
COMMENTS	11/22/22
UPDT PER SUBMS	2/8/22
COMMENTS	3/27/23

DATE
12/29/2021

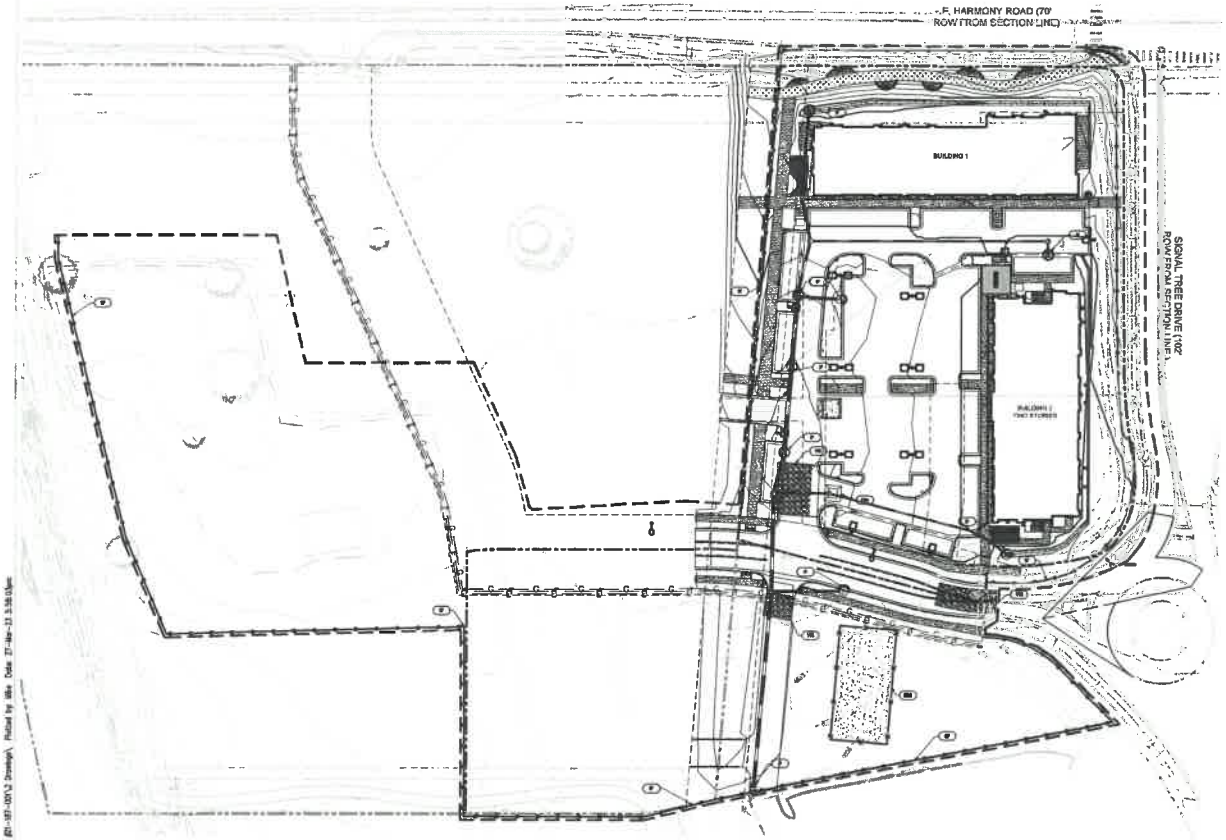
SHEET TITLE
INITIAL EROSION CONTROL

SHEET INFORMATION
ER-1.0

File: SCHUMANCOMPANIES.dwg Plotted by: Mike Date: 27-Mar-23 3:57:10pm

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO



LEGEND

EX. CONTOUR	
PROPOSED CONTOUR	34
LIMITS OF CONSTRUCTION	
PROPERTY LINE	

EROSION DETAILS

- VTC — VEHICLE TRACKING CONTROL (3/D-210)
- SF — SILT FENCE (3/D-210)
- CWA — CONCRETE WASHOUT (1/D-210)
- SSA — STABILIZED STAGING AREA (4/D-210)
- ECB — EROSION CONTROL BLANKET (5/D-210)
- IP — INLET PROTECTION (2/D-210)

ACREAGE SUMMARY (IN ACRES)

SITE AREA	4.35 AC±
ON-SITE DISTURBED AREA	4.35 AC±
OFF-SITE DISTURBED AREA	4.18 AC±
TOTAL DISTURBED AREA	8.53 AC±

SEEDING NOTE:

TEMPORARY SEEDING – ALL BARE GROUND WHERE CONSTRUCTION ACTIVITY WILL NOT TAKE PLACE FOR LONGER THAN 30 DAYS MUST BE SEEDED WITHIN 14 DAYS WITH FAST-GERMINATING TEMPORARY SEED AND PROTECTED WITH MULCH, SOIL TACKIFIER, OR ROLLED SLOPE PROTECTION BLANKET.

PERMANENT SEEDING – SEE PROJECT LANDSCAPE PLANS FOR REQUIREMENTS.

NOTE TO CONTRACTOR:
WHILE THE LIMITS OF DISTURBANCE SHOWN INCLUDES ALL OF THE SITE, THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATURAL VEGETATION AS MINIMALLY AS NECESSARY TO COMPLETE THE PROPOSED WORK. TEMPORARY/PERMANENT SEEDING SHALL ONLY APPLY TO THOSE AREAS DISTURBED.

NOTE TO CONTRACTOR:
REFER TO LANDSCAPE PLANS FOR FINAL SOIL STABILIZATION AND SEEDING INFORMATION.

WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.

NORTH
1 inch = 60 ft.

811 Know what's below. Call before you dig.

LOGO:
RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Unit H
Windsor, CO 80550
T (970) 663-4659
W ridgetopcorp.com

SEAL:

PROJECT TITLE:
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR:
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL:
SITE PLAN

DRAWN BY: —
CHECKED BY: MRB
PROJECT NO.: —

REVISIONS:

COMMENTS	6/2/22
COMMENTS	11/22/22
LIGHT REVISIONS	2/6/23
COMMENTS	3/27/23

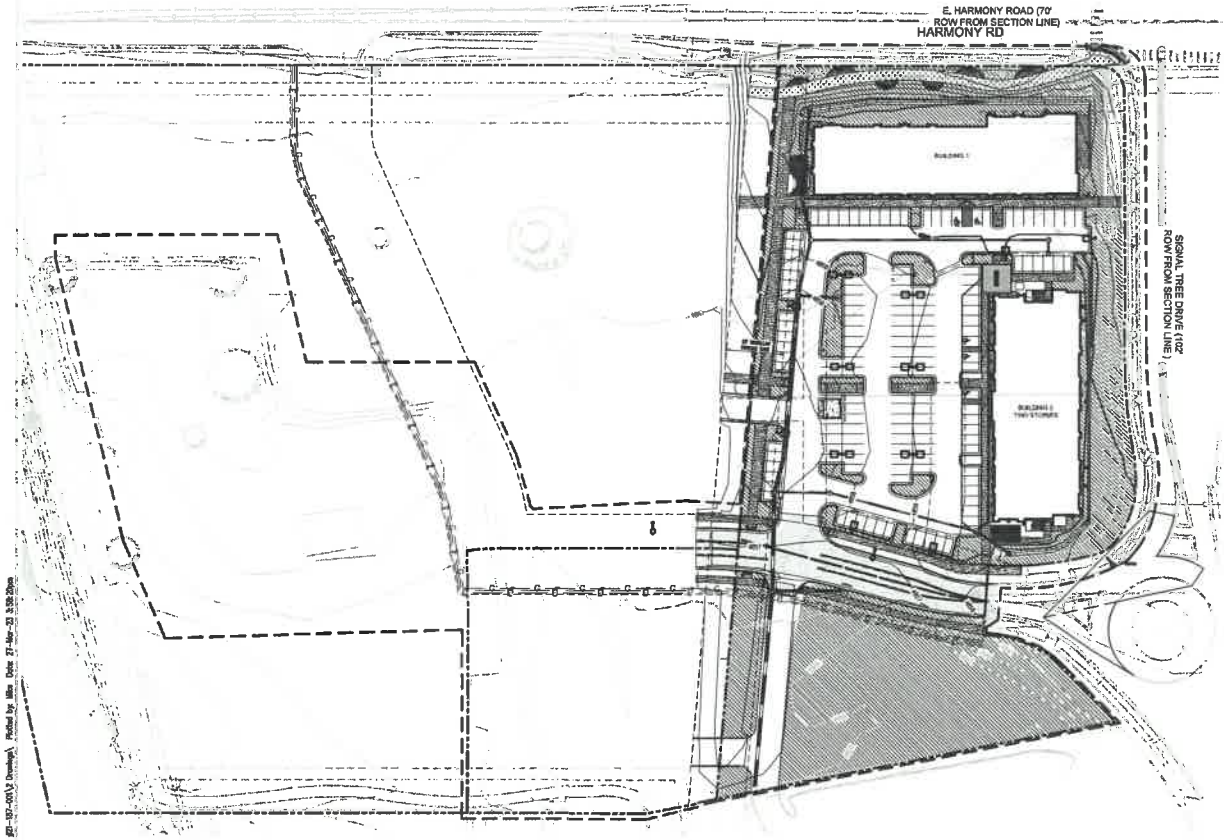
DATE:
12/29/2021

SHEET TITLE:
INTERIM EROSION CONTROL

SHEET INFORMATION:
ER-1.1

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO



LEGEND

EX. CONTOUR
PROPOSED CONTOUR — 34
LIMITS OF CONSTRUCTION
PROPERTY LINE
STANDARD DUTY ASPHALT PAVEMENT

EROSION DETAILS

(A) PERMANENT LANDSCAPING*

ACREAGE SUMMARY (IN ACRES)	
SITE AREA	4.35 AC±
ON-SITE DISTURBED AREA	4.35 AC±
OFF-SITE DISTURBED AREA	4.18 AC±
TOTAL DISTURBED AREA	8.53 AC±

SEEDING NOTE:

TEMPORARY SEEDING – ALL BARE GROUND WHERE CONSTRUCTION ACTIVITY WILL NOT TAKE PLACE FOR LONGER THAN 30 DAYS MUST BE SEEDED WITHIN 14 DAYS WITH FAST-GERMINATING TEMPORARY SEED AND PROTECTED WITH MULCH, SOIL TACKIFIER, OR ROLLED SLOPE PROTECTION BLANKET.

PERMANENT SEEDING – SEE PROJECT LANDSCAPE PLANS FOR REQUIREMENTS.

NOTE TO CONTRACTOR:
WHILE THE LIMITS OF DISTURBANCE SHOWN INCLUDES ALL OF THE SITE, THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATURAL VEGETATION AS MINIMALLY AS NECESSARY TO COMPLETE THE PROPOSED WORK. TEMPORARY/PERMANENT SEEDING SHALL ONLY APPLY TO THOSE AREAS DISTURBED.

NOTE TO CONTRACTOR:
REFER TO LANDSCAPE PLANS FOR FINAL SOIL STABILIZATION AND SEEDING INFORMATION.

WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.

SCALE
1 inch = 50 ft.

811 Know what's below. Call before you dig.

LOGO
RIDGETOP ENGINEERING & SURVEYING
241 E. Garden Drive, Unit 1
Windsor, CO 80550
T (970) 663-4653
W ridgetoweng.com

SEAL

PROJECT NAME
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY: —
CHECKED BY: MRB
PROJECT NO.: —

REVISIONS
COMMENTS 8/2/22
COMMENTS 11/22/22
LIGHT REVISIONS 2/6/22
COMMENTS 3/27/23

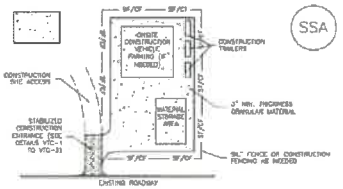
DATE
12/29/2021

SHEET TITLE
FINAL EROSION CONTROL

SHEET INFORMATION
ER-1.2

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO



SSA–1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

1. SEE PLAN VIEW FOR
   -LOCATION OF STAGING AREA(S)
   -CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.

2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. ENTERTAINING RECEIVING IN A LARGER AREA ITS EVENTUALLY FOLLOWING CONSTRUCTION.

3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE

4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.

5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SEC. §703, AASHTO #3 COARSE AGGREGATE OR 6" (WINGS) ROCK

6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

STABILIZED STAGING AREA MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

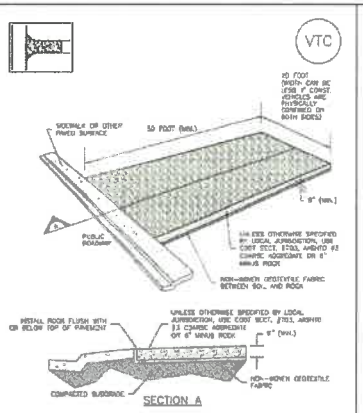
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. ROCK SHALL BE REAPPLIED OR REPAIRED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED

STAGING AREA

URBAN DRAINAGE AND FLOOD CONTROL DISTRICT
URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3

4



VTC–1. AGGREGATE VEHICLE TRACKING CONTROL

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

1. SEE PLAN VIEW FOR
   -LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S)
   -TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TIRE).

IF CONSTRUCTION MAT OR TIRE STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS

2. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED PUBLIC-OF-WAYS.

4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.

6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. §703, AASHTO §3 COARSE AGGREGATE OR 6" (WINGS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. ROCK SHALL BE REAPPLIED OR REPAIRED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.

5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR BROOMING (SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

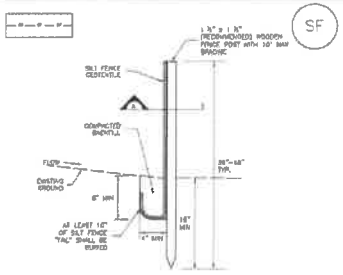
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED

DETAILS ADAPTED FROM CITY OF GREENFIELD DRAWING, NOT AVAILABLE IN ACADEMY

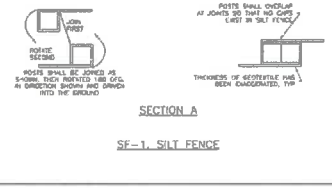
VEHICLE TRACKING CONTROL

URBAN DRAINAGE AND FLOOD CONTROL DISTRICT
URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3

3



SILT FENCE



SECTION A

SF–1. SILT FENCE

SILT FENCE INSTALLATION NOTES

1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER FORMING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.

2. A UNIFORM 6" X 6" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED

3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE MUCH THAN SILT FENCE FABRIC BEING PULLED OUT OF ANCHOR TRENCH (3 TIMES)

4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.

5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE

6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "U-HOOK." THE "U-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO HELP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').

7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".

5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.

6. SILT FENCE AS IS REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.

7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

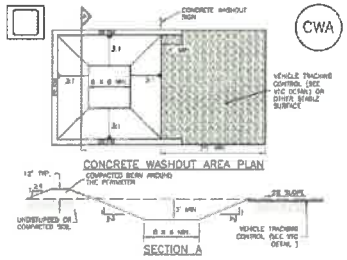
DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND CITY OF PARKER, COLORADO, NOT AVAILABLE IN ACADEMY

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED

SILT FENCE

URBAN DRAINAGE AND FLOOD CONTROL DISTRICT
URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3

2



CWA–1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

1. SEE PLAN VIEW FOR
   -CWA INSTALLATION LOCATION.

2. DO NOT LOCATE AN LINLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS IMPOSSIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVE USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.

3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.

4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.

5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.

6. VEHICLE TRACKING PAD SHALL BE SLOPED 3:1E TOWARDS THE CWA.

7. BERM SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO ADEQUATELY MODERATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RACE.

8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

CWA MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.

2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.

3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 3'.

5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.

6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.

7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN ACADEMY

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CONCRETE WASHOUT

URBAN DRAINAGE AND FLOOD CONTROL DISTRICT
URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3

1

Know what's below. Call before you dig.

File: SCHRIEVERDEAN.dwg Plotted: By: Mike Date: 27-Mar-13 3:28:27pm

LOGO: RIDGETOP ENGINEERING & SURVEYING
941 E. Garden Drive, Unit N
Windsor, CO 80550
T (970) 493-4567
W ridgetopeng.com

SEAL

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY:
CHECKED BY: MRB
PROJECT NO.: –

REVISIONS	
COMMENTS	6/2/22
COMMENTS	11/29/22
LIGHT REVISIONS	2/8/22
COMMENTS	3/27/23

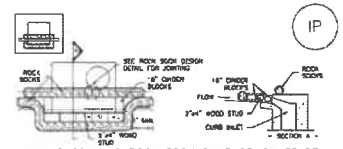
DATE
12/29/2021

SHEET TITLE
EROSION DETAILS

SHEET INFORMATION
ER-2.0

RIVERBEND LOT 1

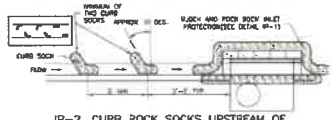
NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO



IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION

BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES

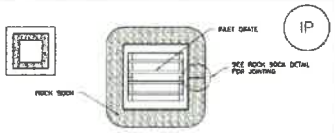
1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS
2. CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
3. GRAVEL BASE SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINTED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION

CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
2. PLACEMENT OF THE ROCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
3. ROCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
4. AT LEAST TWO CURB ROCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

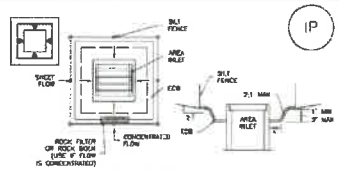
ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

IP-4. SILT FENCE FOR SUMP INLET PROTECTION

SILT FENCE INLET PROTECTION INSTALLATION NOTES

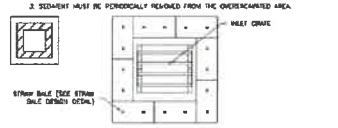
1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
3. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



IP-5. OVEREXCAVATION INLET PROTECTION

OVEREXCAVATION INLET PROTECTION INSTALLATION NOTES

1. THIS FORM OF INLET PROTECTION IS PRIMARILY APPLICABLE FOR SITES THAT HAVE NOT YET REACHED FINAL GRADE AND SHOULD BE USED ONLY FOR INLETS WITH A RELATIVELY SMALL CONTRIBUTING DRAINAGE AREA.
2. WHEN USED FOR CONCENTRATED FLOWS, SWALE BASIN IN 2:1 RATIO WITH LENGTH ORIENTED TOWARDS DIRECTION OF FLOW.
3. SEDIMENT MUST BE PERIODICALLY REMOVED FROM THE OVEREXCAVATED AREA.



IP-6. STRAW BALE FOR SUMP INLET PROTECTION

STRAW BALE INLET PROTECTION INSTALLATION NOTES

1. SEE STRAW BALE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. BALES SHALL BE PLACED IN A SINGLE ROW AROUND THE INLET WITH ENDS OF BALES TIGHTLY ABUTTING ONE ANOTHER

GENERAL INLET PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
   - LOCATION OF INLET PROTECTION.
   - TYPE OF INLET PROTECTION (IP.1, IP.2, IP.3, IP.4, IP.5, IP.6)
2. INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS), IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
3. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

INLET PROTECTION MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS. THROUGHLY WHEN STORMWATER VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR IS OF THE HEIGHT FOR STRAW BALES
5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION BY REVISED.
6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(NOTES ADAPTED FROM CITY OF FORT COLLINS AND CITY OF AURORA, BOULDERS, NOT AVAILABLE IN AURORA)

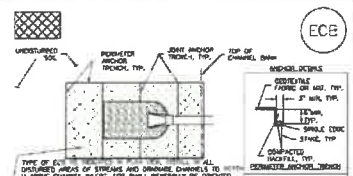
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. NEITHER NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION. HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, GIVE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

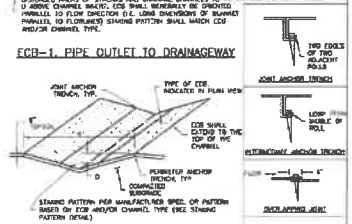
NOTE: EDWS MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

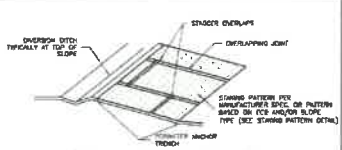
INLET PRTECTION (2)

URBAN DRAINAGE AND FLOOD CONTROL DISTRICT
URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3

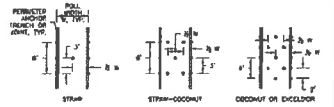


ECB-2. SMALL DITCH OR DRAINAGEWAY

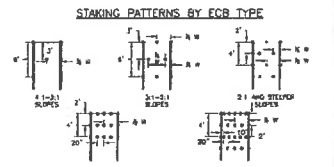




ECB-3. OUTSIDE OF DRAINAGEWAY



STAKING PATTERNS BY ECB TYPE



STAKING PATTERNS BY SLOPE OR CHANNEL TYPE

EROSION CONTROL BLANKET INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
   - LOCATION OF ECB
   - TYPE OF ECB (EITHER, STRAW-COCONUT, COCONUT, OR EXCELSIOR).
   - AREA, A, OR SQUARE YARDS OF EACH TYPE OF ECB
3. 100% NATURAL AND BIODEGRADABLE MATERIALS ARE PREFERRED FOR ECBs, ALTHOUGH SOME JURISDICTIONS MAY ALLOW OTHER MATERIALS IN SOME APPLICATIONS
3. IN AREAS WHERE ECBs ARE SHOWN ON THE PLANS, THE PERMITTEE SHALL PLACE TOPSOIL AND MINIMUM FINAL GRADING, SURFACE PREPARATION, AND SEEDING AND MULCHING. SUBGRADE SHALL BE SMOOTH AND MOIST PRIOR TO ECB INSTALLATION AND THE ECB SHALL BE IN FULL CONTACT WITH SUBGRADE. NO CUPS OR VOIDS SHALL EXIST UNDER THE BLANKET.
4. PERIMETER ANCHOR TRENCH SHALL BE USED ALONG THE OUTSIDE PERIMETER OF ALL DRAINAGE AREAS
5. JOINT ANCHOR TRENCH SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER (LONGITUDINALLY AND TRANSVERSELY) FOR ALL ECBs EXCEPT STRAW WHICH MAY USE AN OVERLAPPING JOINT.
6. INTERMEDIATE ANCHOR TRENCH SHALL BE USED AT SPACING OF ONE-HALF ROLL LENGTH FOR COCONUT AND EXCELSIOR ECBs.
7. OVERLAPPING JOINT DETAIL SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER FOR ECBs ON SLOPES
8. MATERIAL SPECIFICATIONS OF ECBs SHALL CONFORM TO TABLE ECB-1.
9. ANY AREAS OF SEEDING AND MULCHING DISTURBED IN THE PROCESS OF INSTALLING ECBS SHALL BE RESEEDED AND MULCHED.
10. DETAILS ON OTHER PLANS FOR MAJOR DRAINAGEWAY STABILIZATION WILL GOVERN IF DIFFERENT FROM THOSE SHOWN HERE.

TABLE ECB-1. ECB MATERIAL SPECIFICATIONS

TYPE	COCONUT CONTENT	STRAW CONTENT	EXCELSIOR CONTENT	RECOMMENDED NETTING**
STRAW*	-	100%	-	DOUBLE/ NATURAL
STRAW-COCONUT	30% MIN	70% MAX	-	DOUBLE/ NATURAL
COCONUT	100%	-	-	DOUBLE/ NATURAL
EXCELSIOR	-	-	100%	DOUBLE/ NATURAL

EROSION CONTROL BLANKET MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ECBs SHALL BE LEFT IN PLACE TO EVENTUALLY BIODEGRADE. UNLESS REQUESTED TO BE REMOVED BY THE LOCAL JURISDICTION.
5. ANY ECB PULLED OUT, TORN, OR OTHERWISE DAMAGED SHALL BE REPAIRED OR REINSTALLED. ANY DRAINAGE AREAS BEHIND THE PROTECTIVE TRAP THAT BECOMES TO CREATED A VOID UNDER THE BLANKET, OR THAT REMAINS DENUDED OF GRASS SHALL BE REPAIRED, RESEEDED AND MULCHED AND THE ECB REINSTALLED.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(NOTES ADAPTED FROM DOUGLAS COUNTY, COLORADO AND CITY OF FORTH COLLINS, NOT AVAILABLE IN AURORA)

EROSION CONTROL BLANKET (1)

URBAN DRAINAGE AND FLOOD CONTROL DISTRICT
URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3

Know what's below. Call before you dig.

RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Unit B
Windsor, CO 80550
P: (970) 663-4557
W: ridgetopcorp.com

SEAL

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY:
CHECKED BY: MRB
PROJECT NO.: —

REVISIONS

COMMENTS	6/2/22
COMMENTS	11/22/22
LIGHT REVISIONS	2/6/22
COMMENTS	3/27/23

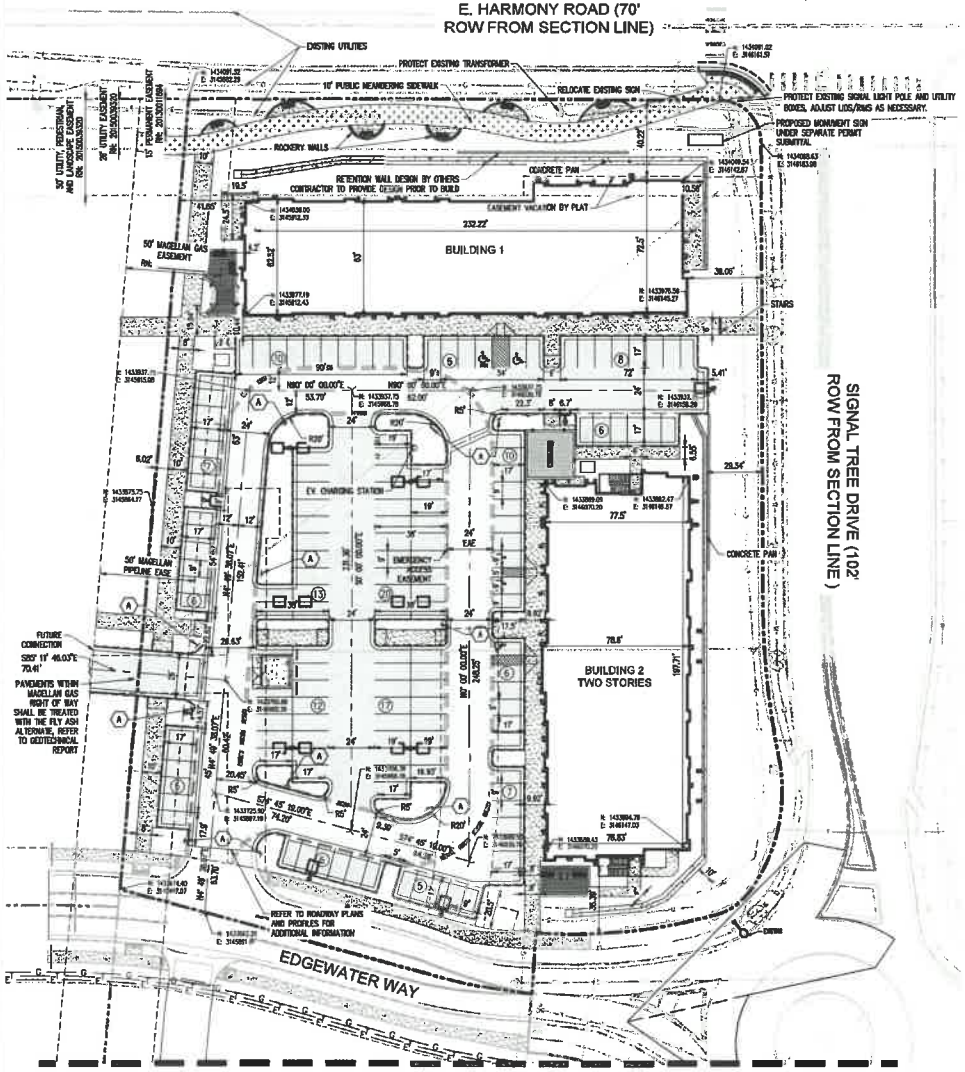
DATE
12/29/2021

SHEET TITLE
EROSION DETAILS

SHEET INFORMATION
ER-2.1

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO

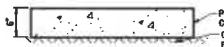


SIGN KEY LEGEND

(A) "FIRE LANE – NO PARKING" SIGN

LEGEND

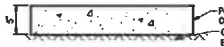
- PORTLAND CEMENT CONCRETE PAVEMENT
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT
- PUBLIC CONCRETE SIDEWALK
- CONCRETE SIDEWALK
- PROPERTY LINE
- CURB AND GUTTER
- BUILDING
- FIRE LANE – EMERGENCY ACCESS EASEMENT



PORTLAND CEMENT CONCRETE PAVEMENT
OVEREXCAVATE 24" BELOW AGGREGATE BASE, SCARIFY EXPOSED SOILS TO A DEPTH OF 9" AND ADJUSTED IN MOISTURE CONTENT TO WITHIN ±2% STANDARD MOISTURE CONTENT AND COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY. UNSUITABLE NATIVE MATERIAL SHALL BE OVEREXCAVATED AND REPLACED PER GEOTECHNICAL REPORT.

PUBLIC CONCRETE SIDEWALK (OFF-SITE) (5)

NTS

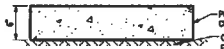


PORTLAND CEMENT CONCRETE PAVEMENT
OVEREXCAVATE 24" BELOW AGGREGATE BASE, SCARIFY EXPOSED SOILS TO A DEPTH OF 9" AND ADJUSTED IN MOISTURE CONTENT TO WITHIN ±2% STANDARD MOISTURE CONTENT AND COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY. UNSUITABLE NATIVE MATERIAL SHALL BE OVEREXCAVATED AND REPLACED PER GEOTECHNICAL REPORT.

*INCLUDES ALL CONCRETE WALKS WITHIN THE SITE BOUNDARY.

PRIVATE CONCRETE SIDEWALK (ON-SITE) (4)

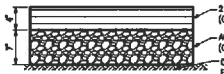
NTS



PORTLAND CEMENT CONCRETE PAVEMENT
OVEREXCAVATE 24" BELOW AGGREGATE BASE, SCARIFY EXPOSED SOILS TO A DEPTH OF 9" AND ADJUSTED IN MOISTURE CONTENT TO WITHIN ±2% STANDARD MOISTURE CONTENT AND COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY. UNSUITABLE NATIVE MATERIAL SHALL BE OVEREXCAVATED AND REPLACED PER GEOTECHNICAL REPORT.

HEAVY DUTY CONCRETE (3)

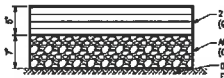
NTS



2 EQUAL LIFTS OF ASPHALTIC CONCRETE (GRADE S OR SX)
AGGREGATE BASE (CLASS 5 OR 6)
OVEREXCAVATE 24" BELOW AGGREGATE BASE, SCARIFY EXPOSED SOILS TO A DEPTH OF 9" AND ADJUSTED IN MOISTURE CONTENT TO WITHIN ±2% STANDARD MOISTURE CONTENT AND COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY. UNSUITABLE NATIVE MATERIAL SHALL BE OVEREXCAVATED AND REPLACED PER GEOTECHNICAL REPORT.

STANDARD DUTY ASPHALT (2)

NTS

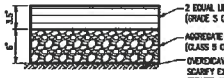


2 EQUAL LIFTS OF ASPHALTIC CONCRETE (GRADE S OR SX)
AGGREGATE BASE (CLASS 5 OR 6)
OVEREXCAVATE 24" BELOW AGGREGATE BASE, SCARIFY EXPOSED SOILS TO A DEPTH OF 9" AND ADJUSTED IN MOISTURE CONTENT TO WITHIN ±2% STANDARD MOISTURE CONTENT AND COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY. UNSUITABLE NATIVE MATERIAL SHALL BE OVEREXCAVATED AND REPLACED PER GEOTECHNICAL REPORT.

HEAVY DUTY ASPHALT (1)

NTS

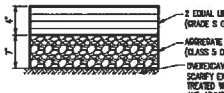
WARNING
HIGH–PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE–CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.



2 EQUAL LIFTS OF ASPHALTIC CONCRETE (GRADE S OR SX)
AGGREGATE BASE (CLASS 5 OR 6)
OVEREXCAVATE 12" BELOW AGGREGATE BASE, SCARIFY EXPOSED SOILS TO A DEPTH OF 12", TREATED WITH FLY ASH PER GEOTECH REPORT AND ADJUSTED IN MOISTURE CONTENT TO WITHIN ±2% STANDARD MOISTURE CONTENT AND COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY. UNSUITABLE NATIVE MATERIAL SHALL BE OVEREXCAVATED AND REPLACED PER GEOTECHNICAL REPORT.

STANDARD DUTY ASPHALT FLY ASH ALTERNATE (2A)

NTS



2 EQUAL LIFTS OF ASPHALTIC CONCRETE (GRADE S OR SX)
AGGREGATE BASE (CLASS 5 OR 6)
OVEREXCAVATE 12" BELOW AGGREGATE BASE, SCARIFY EXPOSED SOILS TO A DEPTH OF 12", TREATED WITH FLY ASH PER GEOTECH REPORT AND ADJUSTED IN MOISTURE CONTENT TO WITHIN ±2% STANDARD MOISTURE CONTENT AND COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY. UNSUITABLE NATIVE MATERIAL SHALL BE OVEREXCAVATED AND REPLACED PER GEOTECHNICAL REPORT.

HEAVY DUTY ASPHALT FLY ASH ALTERNATE (1A)

NTS

PAVEMENT NOTES

1. MATERIAL THICKNESS IS COMPACTED DEPTH. APPLIES TO ALL SECTIONS.
2. SUITABLE ONSITE SOILS SHALL BE FREE OF DELETERIOUS MATERIALS AND MAY BE USED FOR SUBGRADE PROVIDED SOILS MEET REQUIREMENTS AS SET FORTH IN THE GEOTECHNICAL REPORT.
3. FOR PREPARATION OF PAVEMENT SUBGRADE, STRIP ALL TOPSOIL, EXISTING VEGETATION, AND UNACCEPTABLE / UNSUITABLE SUBSOILS. OVEREXCAVATE A MINIMUM OF 24" BELOW PAVEMENT SUBGRADE AND REPLACE AS MOISTURE CONDITIONED ENGINEERED FILL MATERIAL. SCARIFY A MINIMUM OF 6" OF EXPOSED SOILS AND ADJUST TO WITHIN 2% OF STANDARD PROCTOR OPTIMUM MOISTURE AND RECOMPACT TO AT LEAST 95% MAXIMUM DRY DENSITY (ASTM D698).
4. PROOFROLL AND RECOMPACT THE SUBGRADE IMMEDIATELY PRIOR TO PLACING AGGREGATE BASE COURSE. UNDERCUT OR STABILIZE IN-PLACE SOFT OR WEAK AREAS DELINEATED BY PROOFROLLING PER GEOTECHNICAL REPORT.
5. AGGREGATE BASE COURSE MATERIALS SHALL CONFORM TO THE CDOT CLASS 5 OR 6 AND DURABILITY REQUIREMENTS, AND BE PLACED IN LOOSE LIFTS NOT TO EXCEED 6" THICK AND COMPACTED TO 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY.
6. ASPHALTIC SURFACE SHOULD CONSIST OF A BITUMINOUS PLANT MIX COMPOSED OF A MIXTURE OF AGGREGATE, FILLER, BINDERS AND ADDITIVES IF REQUIRED MEETING DESIGN REQUIREMENTS OF THE TOWN OF TIMNATH.
7. THE PORTLAND CEMENT CONCRETE PAVEMENT MIXTURE SHALL BE IN ACCORDANCE WITH THE TOWN OF TIMNATH STANDARDS FOR PCCP. THE MIXTURE SHALL BE DESIGNED TO DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,200 PSI AT 28 DAYS WITH A 4 INCH MAXIMUM SLUMP AND 6% ENTRAINED AIR.
8. CONTRACTOR SHALL PROVIDE A PRIME COAT AND TACK COAT TO FACE OF CURB WHERE CURB CONTACTS ASPHALT.
9. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL PAVING REQUIREMENTS AND OPTIONAL FLY ASH STABILIZATION.
10. LIMITS OF STREET CUTS ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.
11. ROW PAVEMENT PATCH
    ALL WORK IN ROW IS TO BE DONE IN ACCORDANCE WITH LCUASS STANDARD SPECS. PLEASE REFER TO SECTION 25.5.2 (J).
    J. PAVEMENT THICKNESS
    THE THICKNESS OF ASPHALT PATCHES IN ASPHALT STREETS SHALL TYPICALLY BE THE THICKNESS OF THE EXISTING ASPHALT PLUS ONE (1) INCH WITH THE MINIMUMS LISTED IN TABLE 25-1, OR AS SPECIFIED BY THE LOCAL ENTITY ENGINEER.

NORTH
1 inch = 80 ft.

811 Know what's below. Call before you dig.

LOGO
RIDGETOP ENGINEERING & SURVEYING
841 E. Garden Drive, Unit B
Windsor, CO 80550
T (970) 663-4661
W ridgetopeng.com

SEAL

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY: —
CHECKED BY: MRB
PROJECT NO.: —

REVISIONS

COMMENTS	6/2/22
COMMENTS	11/22/22
LEGAL REVISIONS	2/6/22
COMMENTS	9/27/23

DATE
12/29/2021

SHEET TITLE
SITE PLAN NORTH

SHEET INFORMATION
C-1.0

File: 3282111005.dwg Path: P:\Colorado\Timnath\Schuman Companies\Lot 1 Riverbend ATX-107-2021\2 Drawings\ Plotted by: Mike Date: 27-Mar-23 3:06:46pm

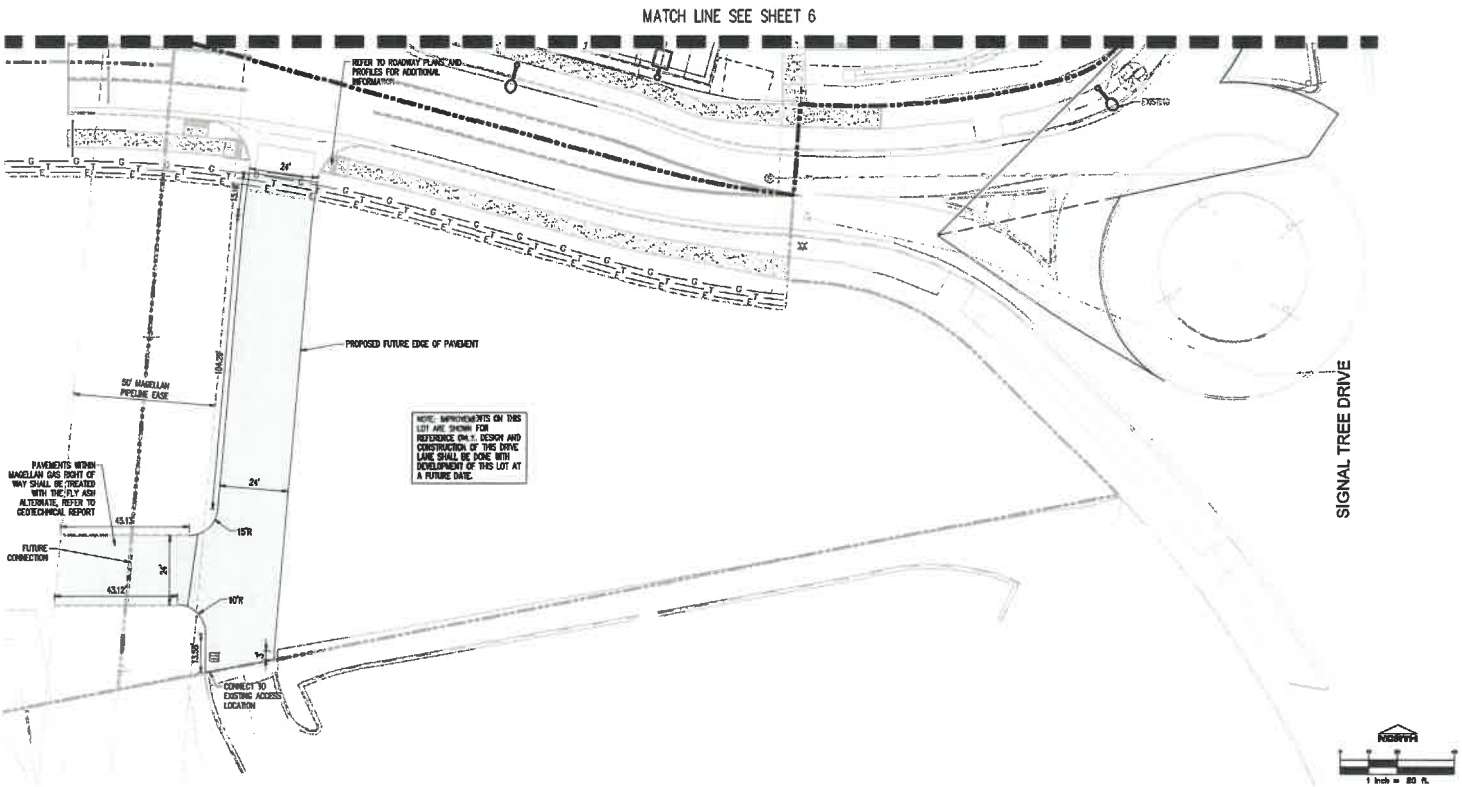
RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO

WARNING
HIGH–PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE–CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.

LEGEND

- PORTLAND CEMENT CONCRETE PAVEMENT
- ASPHALTIC CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- PROPERTY LINE
- CURB AND GUTTER
- BUILDING



811
Know what's below.
Call before you dig.

LOGO
RIDGETOP ENGINEERING & SURVEYING
841 E. Garden Drive, Unit B
Windsor, CO 80550
T (970) 663-4652
ridgetopengs.com

SEAL

PROJECT NAME
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY: —
CHECKED BY: MRB
PROJECT NO.: —

REVISIONS

COMMENTS	5/2/22
COMMENTS	11/22/22
LIGHT REVISIONS	2/6/22
COMMENTS	9/27/23

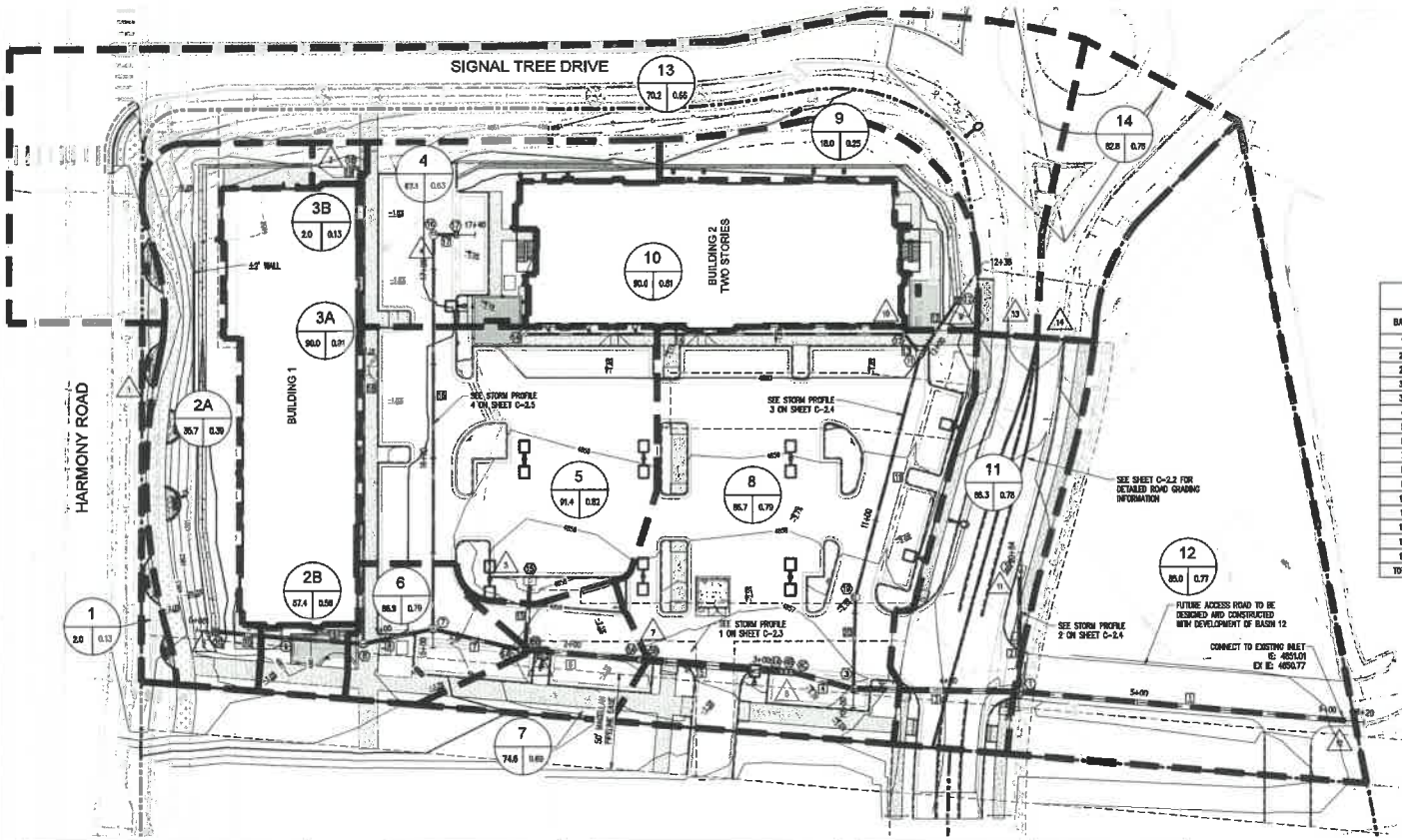
DATE
12/29/2021

SHEET TITLE
SITE PLAN SOUTH

SHEET INFORMATION
C-1.1

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO



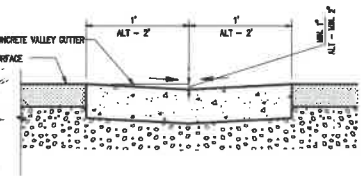
LEGEND

EX. CONTOUR
PROPOSED CONTOUR — 322
BASIN LIMITS
STORM PIPE

BASIN
IMPERVIOUSNESS % — X.XX | X.XX — 100-YR COEF.
1 DESIGN POINT

BASIN SUMMARY

BASIN	AREA (AC)	10-YR CFS	100-YR CFS	BASIN ROUTING	100-YR ACCUMULATION (CFS)
1	0.03	0.0	0.0	1	0.0
2A	0.31	0.3	0.8	2A, 2B	0.9
2B	0.04	0.1	0.2	2A, 2B	1.1
3A	0.35	1.3	2.8	3A, 3B	2.8
3B	0.01	0.0	0.0	3A, 3B	2.8
4	0.23	0.5	1.3	4	1.3
5	0.48	1.6	3.4	5	3.4
6	0.11	0.4	0.9	2–4, 6	6.1
7	0.11	0.3	0.8	2–7	10.3
8	0.75	2.1	4.7	2–8	13.0
9	0.18	0.1	0.3	9	0.3
10	0.35	1.3	2.8	10	2.8
11	0.31	1.1	2.4	2–11, 13, 14	25.8
12	0.91	2.8	5.8	2–14	31.4
13	0.95	1.7	4.1	13	4.1
14	0.19	0.4	1.0	14	1.0
TOTAL	5.29	14.1	31.5		



TYPE R INLETS

#	TYPE	RIM	FLOWLINE	INVERT
2	TRIPLE TYPE R INLET	RIM = 4857.27	4856.52	IE OUT: 4852.28 18"
15	DOUBLE TYPE R INLET	RIM = 4857.87	4856.92	IE OUT: 4853.00 18"

WARNING
HIGH–PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE–CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.

STRUCTURE TABLE

#	TYPE	RIM	INVERT
1	48" SDMH	RIM = 4858.89	IE IN: 4851.97 18" IE IN: 4851.97 30" IE OUT: 4851.87 30"
3	48" SDMH	RIM = 4857.05	IE IN: 4852.51 12" IE IN: 4852.51 24" IE OUT: 4852.41 30"
4B	TYPE 13 AREA INLET	RIM = 4856.04	
4A	TYPE 13 AREA INLET	RIM = 4856.04	IE IN: 4852.79 30"
4C	TYPE 13 AREA INLET	RIM = 4856.04	IE OUT: 4852.69 24"
5B	TYPE 13 AREA INLET	RIM = 4856.75	IE OUT: 4853.14 30"
5A	TYPE 13 AREA INLET	RIM = 4856.78	IE IN: 4853.24 24"
6B	TYPE 13 AREA INLET	RIM = 4857.63	IE IN: 4853.64 18" IE OUT: 4853.54 24"
6A	TYPE 13 AREA INLET	RIM = 4857.71	IE IN: 4853.64 18"
7	48" SDMH	RIM = 4859.57	IE IN: 4854.80 12" IE IN: 4853.97 18" IE OUT: 4853.87 18"
8	48" SDMH	RIM = 4861.98	IE IN: 4854.38 18" IE IN: 4855.73 6" IE OUT: 4854.18 18"

STRUCTURE TABLE

#	TYPE	RIM	INVERT
9	30 W/LOPLAST	RIM = 4860.64	IE IN: 4854.58 18" IE OUT: 4854.48 18"
10	TYPE C INLET	RIM = 4859.23	IE OUT: 4854.75 18"
11	48" SDMH	RIM = 4860.05	IE IN: 4854.90 12" IE IN: 4854.90 12" IE OUT: 4854.80 12"
12	TYPE C INLET	RIM = 4858.37	IE OUT: 4855.25 12"
13	CLEANOUT	RIM = 4858.05	IE IN: 4858.00 12" IE OUT: 4858.00 12"
14	CLEANOUT	RIM = 4859.20	IE OUT: 4858.00 12"
15	48" SDMH	RIM = 4859.80	IE IN: 4855.84 12" IE OUT: 4855.84 12"
17	TYPE 13 AREA INLET	RIM = 4859.23	IE OUT: 4858.00 12"
18	30 W/LOPLAST	RIM = 4860.02	IE IN: 4858.24 6"
19	48" SDMH	RIM = 4857.05	IE IN: 4853.09 12" IE OUT: 4852.89 12"

PIPE TABLE

#	SIZE	LENGTH	MATERIAL	SLOPE
1	30"	172'	HDPE	0.50%
2	18"	61'	HDPE	0.50%
3	30"	87'	HDPE	0.50%
4	24"	33'	RCP	0.54%
5	18X30	71'	ELLIPTICAL RCP	0.50%
6	24"	59'	RCP	0.60%
7	18"	47'	HDPE	0.50%
8	18"	37'	HDPE	0.50%
9	18"	41'	HDPE	0.50%
10	18"	37'	HDPE	0.50%

PIPE TABLE

#	SIZE	LENGTH	MATERIAL	SLOPE
11	12"	133'	HDPE	1.28%
12	12"	35'	HDPE	1.00%
13	12"	14'	HDPE	8.06%
14	12"	200'	HDPE	1.00%
15	18"	33'	HDPE	0.50%
16	12"	208'	HDPE	0.50%
17	12"	11'	HDPE	0.50%
18	6"	247'	HDPE	1.00%
19	6"	6'	HDPE	1.00%
20	12"	45'	HDPE	1.00%

STORM DRAINAGE NOTES

1. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
2. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
3. ALL STORM DRAINAGE PIPES SHALL BE CLASS IV REINFORCED CONCRETE PIPE TO SUSTAIN H–20 LOADING WITH RUBBER GASKETED JOINTS.
4. ALL ON–SITE STORM DRAINAGE PIPE SHALL BE SMOOTH WALLED INTERIOR, MANUFACTURER'S VERIFICATION OF MANNING'S ROUGHNESS COEFFICIENT N=0.012 OR LESS.
5. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
6. ALL CATCH BASINS AND AREA DRAINS ARE TO BE SITUATED SUCH THAT THE OUTSIDE EDGE OF GRATE FRAME IS AT TOE OF CURB OR FLOWLINE OF GUTTER (WHERE APPLICABLE).
7. CATCH BASIN INLET PROTECTION / EROSION CONTROL TO BE USED FOR ALL NEW INLETS.
8. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
10. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, UNLESS OTHERWISE SHOWN IN THE CATCH BASIN DETAIL.
11. CONTRACTOR SHALL CONNECT ROOF DRAIN LEADERS TO PROPOSED STORM DRAINS, SEE ARCH PLANS FOR DOWNSPOUT LOCATIONS.
12. ALL "FINAL" ELEVATIONS REFER TO THE FLOW LINE OF THE CURB.
13. GROUND WATER DEPTHS HAVE BEEN NOTED THROUGHOUT THE SITE. SHOULD GROUND WATER BE ENCOUNTERED IN EXCAVATION OF THE POND, ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

NOTE TO CONTRACTOR: ALL CONCRETE PIPE JOINTS SHALL BE RUBBER GASKETED JOINTS.

NOTES:
1. SEE STORM PROFILE SHEETS FOR APPLICABLE STORM SEWER PROFILES.
2. SEE GRADING PLANS, SHEETS C-2.1 – C-2.3 FOR ADDITIONAL GRADING INFORMATION.
3. SEE DETAIL SHEETS FOR STORM RELATED DETAILS.

NORTH
1 inch = 20 ft.

811 Know what's below. Call before you dig.

LOGO
RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Unit B
Windsor, CO 80550
T (970) 663-4653
W ridgetopsurv.com

SEAL

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY: RSD
CHECKED BY: MRB
PROJECT NO.: —

REVISIONS
COMMENTS 6/2/22
COMMENTS 11/22/22
LIGHT REVISIONS 2/8/22
COMMENTS 3/27/23

DATE
12/29/2021

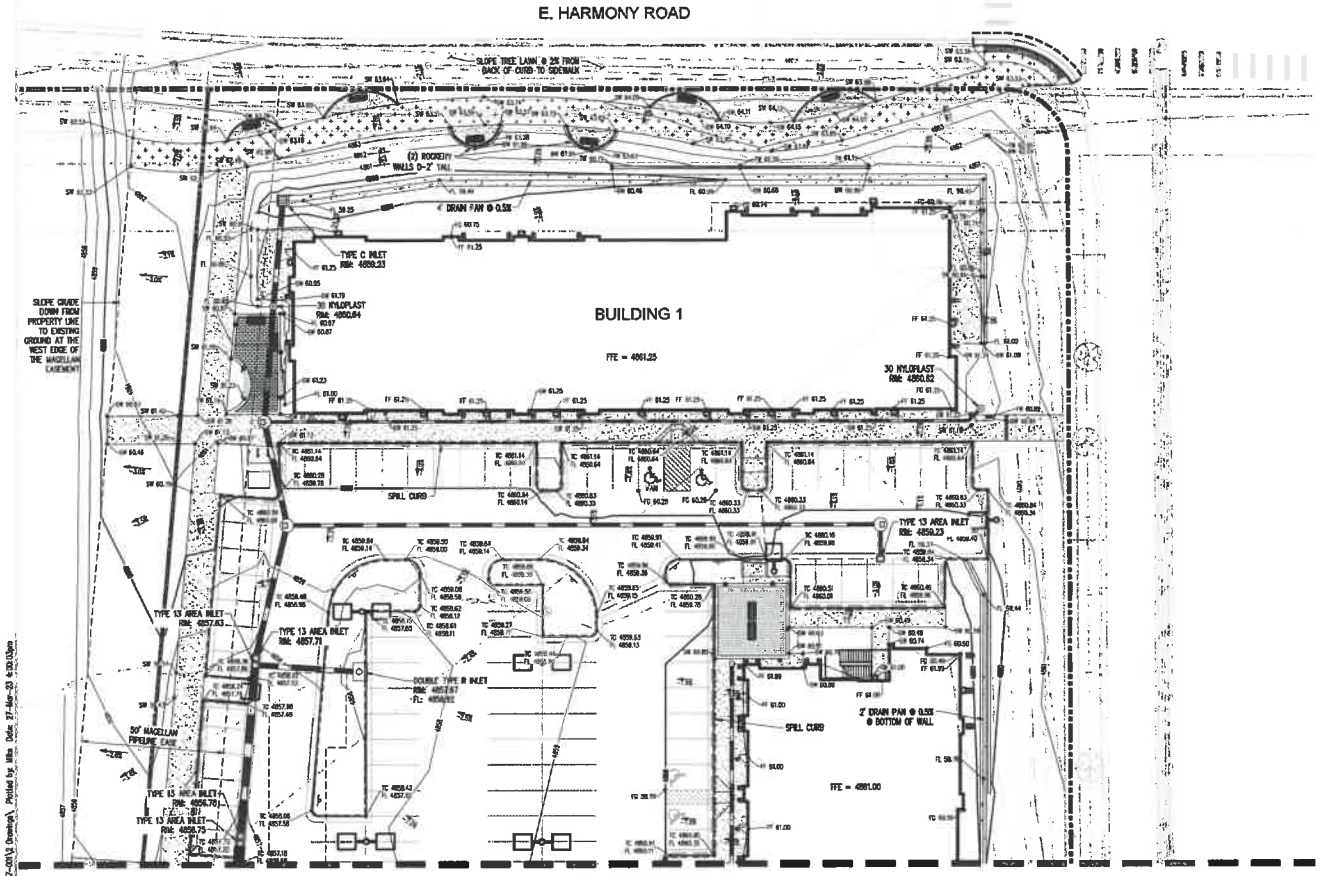
SHEET TITLE
DRAINAGE PLAN

SHEET INFORMATION
C-2.0

File: 3283\2000.dwg Plotted: P:\Colorado\Timnath\Schuman Companies\Lot 1 Riverbend (07-18-22)\2 Drawings\ Plotted by: Mike Date: 27-Mar-23 3:06:43pm

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO



WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.

LEGEND

	PROPERTY LINE
	EDGE OF PAVEMENT
	CURB AND GUTTER
SS	SANITARY SEWER MAIN
W	WATER MAIN
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPILL CURB
G	GAS MAIN
	PROPOSED CONTOUR
	PROPOSED CONTOUR

TC	TOP OF CURB
FL	FLOWLINE
SW	SIDEWALK
FF	FINISH FLOOR
FG	FINISH GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL

NOTE TO CONTRACTOR:
SEE SHEET C-2.2 FOR GRADING OF ROADWAY.

SEE SHEET C-2.0 FOR ADDITIONAL DRAINAGE NOTES ALONG WITH STORM PIPE/STRUCTURE INFORMATION.

SEE SHEETS C-4.0 AND C-4.2 FOR STORM STRUCTURE DETAILS

GRADING NOTES

1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
2. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS WITH GRASS IN ACCORDANCE WITH LOCAL SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
3. ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED PER THE IBC CODE AND APPLICABLE LOCAL REGULATION. ALL CUT AND FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND SHALL GRADE ALL AREAS TO PRECLUDE PONDING OF WATER.
5. ALL POLLUTANTS OTHER THAN SEDIMENT ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
6. PROPERTIES AND WATERWAYS DOWNSTREAM OF THE SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM PROJECT SITE.
7. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CONFORMING CODES AND BE CONSTRUCTED TO SAME.
8. CONTRACTOR TO REMOVE UNSUITABLE SOILS LOCATED WITHIN THE BUILDINGS SPLAY LINE OF THE FOOTINGS.
9. FOR BOUNDARY AND TOPOGRAPHIC INFORMATION REFER TO PROJECT SURVEY.
10. REUSE OF native MATERIAL PERMITTED IF PLACED IN 8" LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR.
11. GENERAL SPOT ELEVATIONS ARE TO FLOW LINE OF THE CURB UNLESS OTHERWISE NOTED.

NORTH
1 inch = 20 ft.

811
Know what's below. Call before you dig.

LOGO:
RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Unit H
Windsor, CO 80550
T. (970) 663-4652
E. info@rdgsdcorp.com

SEAL:

PROJECT TITLE:
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR:
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

DRAWING:
SITE PLAN

DRAWN BY: —
CHECKED BY: MHB
PROJECT NO.: —

REVISIONS

COMMENTS	6/2/22
COMMENTS	11/02/22
LIGHT REVISIONS	2/6/22
COMMENTS	12/7/23

DATE:
12/29/2021

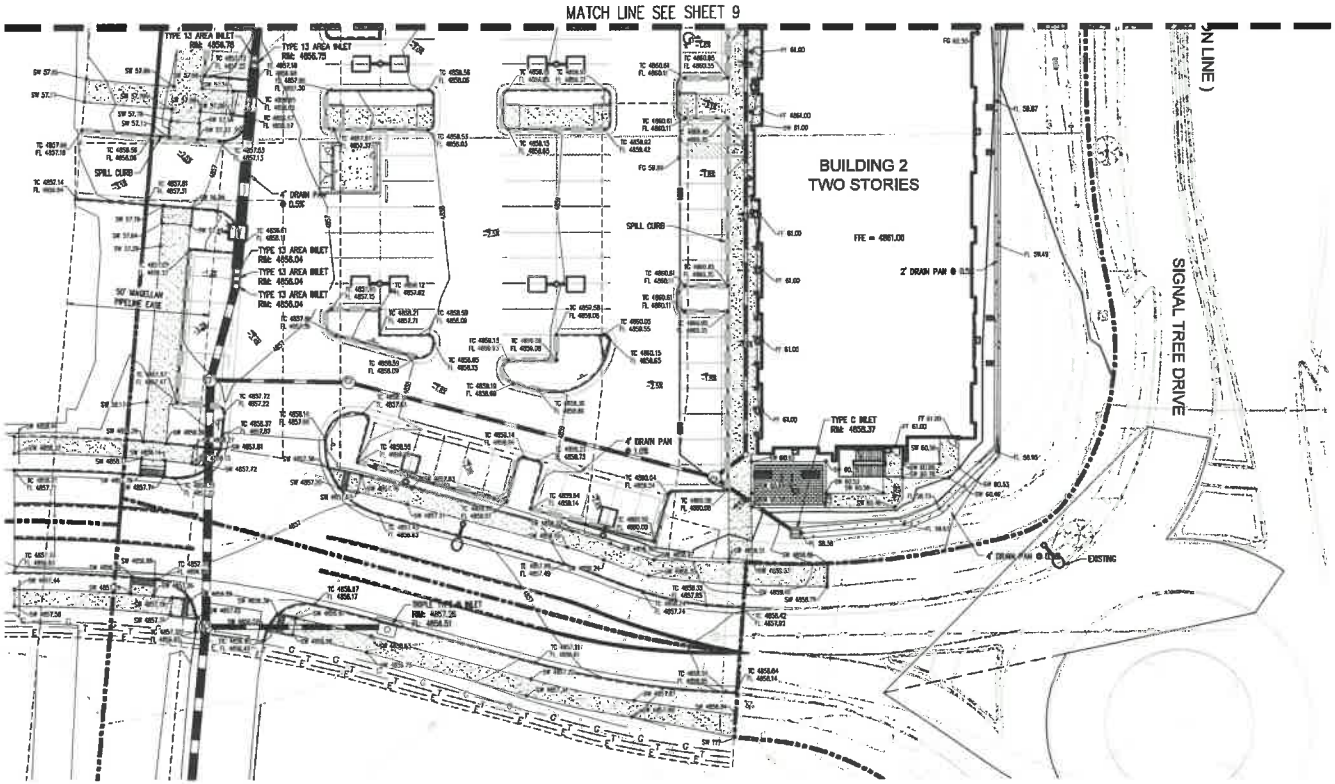
SHEET TITLE:
GRADING PLAN NORTH

SHEET INFORMATION:
C-2.1

File: 2208120Grdng.Pnt; P:\Colorado\Timnath\Schuman Companies\Lot 1 Riverbend (02-182-001)\Drawings\, Plotted by: Mike Date: 27-Mar-23 4:30:13pm

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO



WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.

LEGEND

	PROPERTY LINE
	EDGE OF PAVEMENT
	CURB AND GUTTER
SS	SANITARY SEWER MAIN
W	WATER MAIN
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPILL CURB
TC	TOP OF CURB
FL	FLOWLINE
SW	SIDEWALK
FF	FINISH FLOOR
FG	FINISH GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL

NOTE TO CONTRACTOR:
SEE SHEET XXXX FOR GRADING OF ROADWAY.

SEE SHEET C-2.0 FOR ADDITIONAL DRAINAGE NOTES ALONG WITH STORM PIPE/STRUCTURE INFORMATION.

SEE SHEETS C-4.X AND C-4.X FOR STORM STRUCTURE DETAILS

GRADING NOTES

1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
2. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS WITH GRASS IN ACCORDANCE WITH LOCAL SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
3. ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED PER THE IBC CODE AND APPLICABLE LOCAL REGULATION. ALL CUT AND FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND SHALL GRADE ALL AREAS TO PRECLUDE PONDING OF WATER.
5. ALL POLLUTANTS OTHER THAN SEDIMENT ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL M.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
6. PROPERTIES AND WATERWAYS DOWNSTREAM OF THE SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM PROJECT SITE.
7. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
8. CONTRACTOR TO REMOVE UNSUITABLE SOILS LOCATED WITHIN THE BUILDINGS SPLAY LINE OF THE FOOTINGS.
9. FOR BOUNDARY AND TOPOGRAPHIC INFORMATION REFER TO PROJECT SURVEY.
10. REUSE OF NATIVE MATERIAL PERMITTED IF PLACED IN 8" LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR.
11. GENERAL SPOT ELEVATIONS ARE TO FLOW LINE OF THE CURB UNLESS OTHERWISE NOTED.

NORTH
1 inch = 20 ft.

811 Know what's below. Call before you dig.

LOGO
RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Unit 5
Windsor, CO 80550
T (970) 663-4502
W ridgetoeng.com

SEAL

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY: JB
CHECKED BY: NRB
PROJECT NO.: —

REVISIONS

COMMENTS	6/2/22
COMMENTS	11/22/22
LIGHT REVISIONS	2/6/23
COMMENTS	3/27/23

DATE
12/29/2021

SHEET TITLE
GRADING PLAN SOUTH

SHEET INFORMATION
C-2.2

File: S:\2021\2021.dwg Plotted by: Mike Date: 27-Mar-23 4:00:25pm

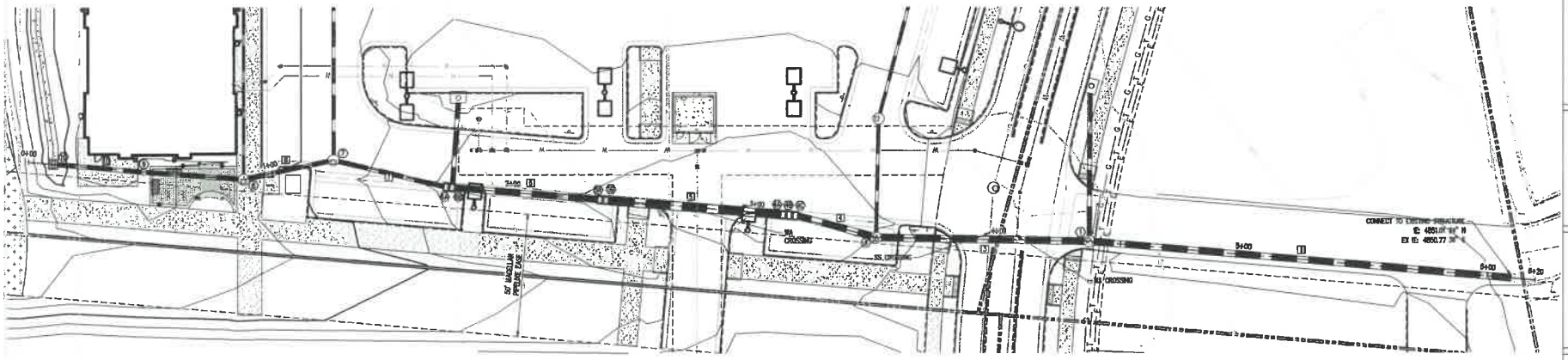
RIVERBEND LOT 1

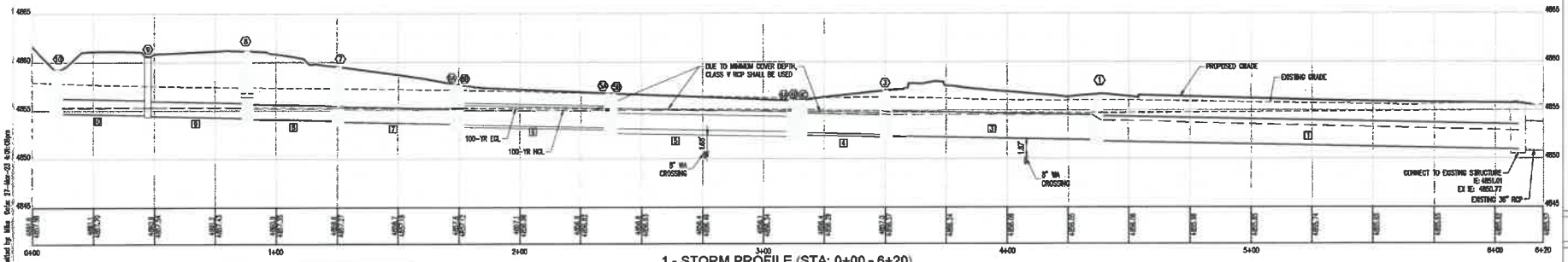
NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO

WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED
WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND
WITHOUT WRITTEN PERMISSION FROM
MAGELLAN PIPELINE COMPANY, L.P.

LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STORM MAIN





1 - STORM PROFILE (STA: 0+00 - 6+20)

SCALE
H: 1" = 20'
V: 1" = 5'

STRUCTURE TABLE			
#	TYPE	RIM	INVERT
1	48" SDMH	RIM = 4856.69	IE IN: 4851.97 18" IE IN: 4851.97 30" IE OUT: 4851.87 30"
3	48" SDMH	RIM = 4857.05	IE IN: 4852.51 12" IE IN: 4852.51 24" IE OUT: 4852.41 30"
4C	TYPE 13 AREA INLET	RIM = 4856.04	IE OUT: 4852.69 24"
4A	TYPE 13 AREA INLET	RIM = 4856.04	IE IN: 4852.79 30"
4B	TYPE 13 AREA INLET	RIM = 4856.04	
5A	TYPE 13 AREA INLET	RIM = 4856.78	IE IN: 4853.24 24"
5B	TYPE 13 AREA INLET	RIM = 4856.75	IE OUT: 4853.14 30"
6A	TYPE 13 AREA INLET	RIM = 4857.71	IE IN: 4853.64 18"
6B	TYPE 13 AREA INLET	RIM = 4857.63	IE IN: 4853.64 18" IE OUT: 4853.54 24"
7	48" SDMH	RIM = 4859.57	IE IN: 4854.80 12" IE IN: 4853.97 18" IE OUT: 4853.87 18"
8	48" SDMH	RIM = 4861.18	IE IN: 4854.28 18" IE IN: 4855.77 6" IE OUT: 4854.18 18"
9	30 NYLOPLAST	RIM = 4860.64	IE IN: 4854.58 18" IE OUT: 4854.48 18"
10	TYPE C INLET	RIM = 4858.23	IE OUT: 4854.75 18"

PIPE TABLE				
#	SIZE	LENGTH	MATERIAL	SLOPE
1	30"	172'	HDPE	0.50%
3	30"	87'	HDPE	0.50%
4	24"	33'	RCP	0.54%
5	[illegible]	71'	ELLIPTICAL RCP	0.50%
6	24"	59'	RCP	0.50%
7	18"	47'	HDPE	0.50%
8	18"	37'	HDPE	0.50%
9	18"	41'	HDPE	0.50%
10	18"	37'	HDPE	0.50%

NORTH

1 inch = 20 ft.

811
Know what's below.
Call before you dig.

LOGO
RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Unit B
Windsor, CO 80550
T (970) 663-4652
F ridgetopcorp.com

SEAL

PROJECT NAME
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY: RSB
CHECKED BY: MRB
PROJECT NO.: —

REVISIONS

COMMENTS	8/2/22
COMMENTS	11/22/22
LIGHT REVISIONS	2/8/22
COMMENTS	3/27/23

DATE
12/29/2021

SHEET TITLE
STORM PLAN AND PROFILE

SHEET INFORMATION
C-2.3

File: SCHUMANCOMP.dwg Path: P:\Colorado\Timnath\Schuman Companies\Lot 1 Riverbend 271-107-001\2 Drawings\ Plotted by: Mike Date: 27-Mar-23 6:01:01pm

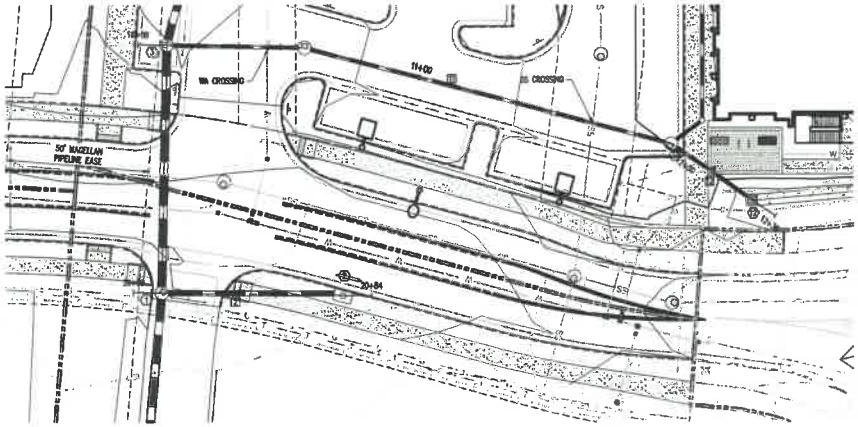
RIVERBEND LOT 1

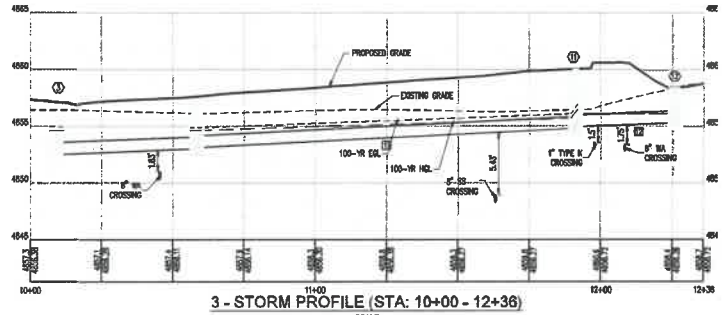
NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO

LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STORM MAIN

WARNING
HIGH–PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE–CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, LP.



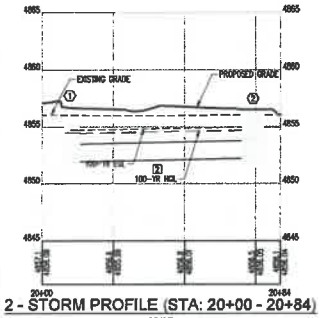


3 - STORM PROFILE (STA: 10+00 - 12+36)

SCALE
H: 1" = 20'
V: 1" = 5'

STRUCTURE TABLE			
#	TYPE	RIM	INVERT
3	48" SDMH	RIM = 4857.05	IE IN: 4852.51 12" IE IN: 4852.51 24" IE OUT: 4852.41 30"
11	48" SDMH	RIM = 4860.05	IE IN: 4854.00 12" IE IN: 4854.00 12" IE OUT: 4854.00 12"
12	TYPE C INLET	RIM = 4858.37	IE OUT: 4855.25 12"
19	48" SDMH	RIM = 4857.05	IE IN: 4853.00 12" IE OUT: 4852.90 12"

PIPE TABLE				
#	SIZE	LENGTH	MATERIAL	SLOPE
11	12"	133'	HDPE	1.25%
12	12"	35'	HDPE	1.00%
20	12"	48'	HDPE	1.00%



2 - STORM PROFILE (STA: 20+00 - 20+84)

SCALE
H: 1" = 20'
V: 1" = 5'

STRUCTURE TABLE			
#	TYPE	RIM	INVERT
1	48" SDMH	RIM = 4859.69	IE IN: 4851.97 18" IE IN: 4851.97 30" IE OUT: 4851.87 30"

TYPE R INLETS				
#	TYPE	RIM	FLOWLINE	INVERT
2	TRIPLE TYPE R INLET	4858.52	4855.77	IE OUT: 4852.28 18"

PIPE TABLE				
#	SIZE	LENGTH	MATERIAL	SLOPE
2	18"	61'	HDPE	0.50%

NORTH
1 inch = 20 ft.

Know what's below. Call before you dig.

RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Ste B
Windsor, CO 80550
T (970) 663-4502
W ridgetopeng.com

LOGO

SEAL

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY: RSB
CHECKED BY: MRB
PROJECT NO.: —

REVISIONS

COMMENTS	8/2/22
COMMENTS	11/22/22
LIGHT REVISIONS	2/6/22
COMMENTS	3/27/23

DATE
12/29/2021

SHEET TITLE
STORM PLAN AND PROFILE

SHEET INFORMATION
C-2.4

File: SCB0120A01.dwg Path: P:\Colorado\Timnath\Schumann Companies\Lot 1 Riverbend (21-157-001)\2 Drawings\ Plotted by: Mike Date: 27-Mar-23 4:02:01 pm

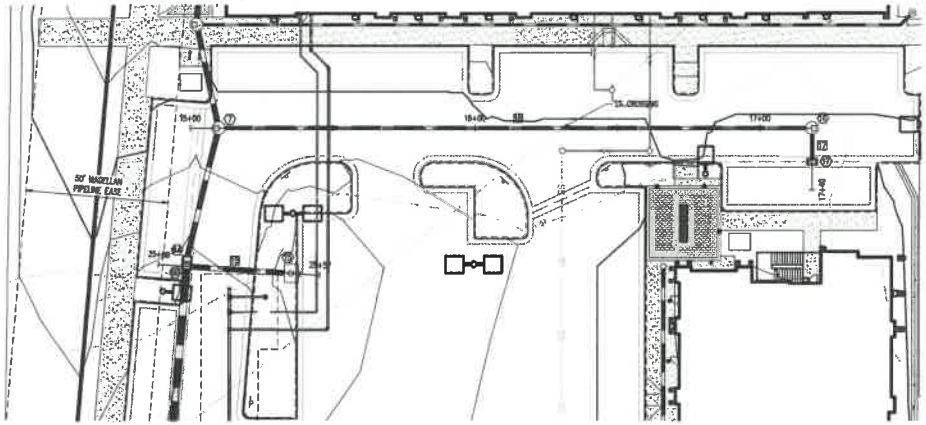
RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO

LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STORM MAIN

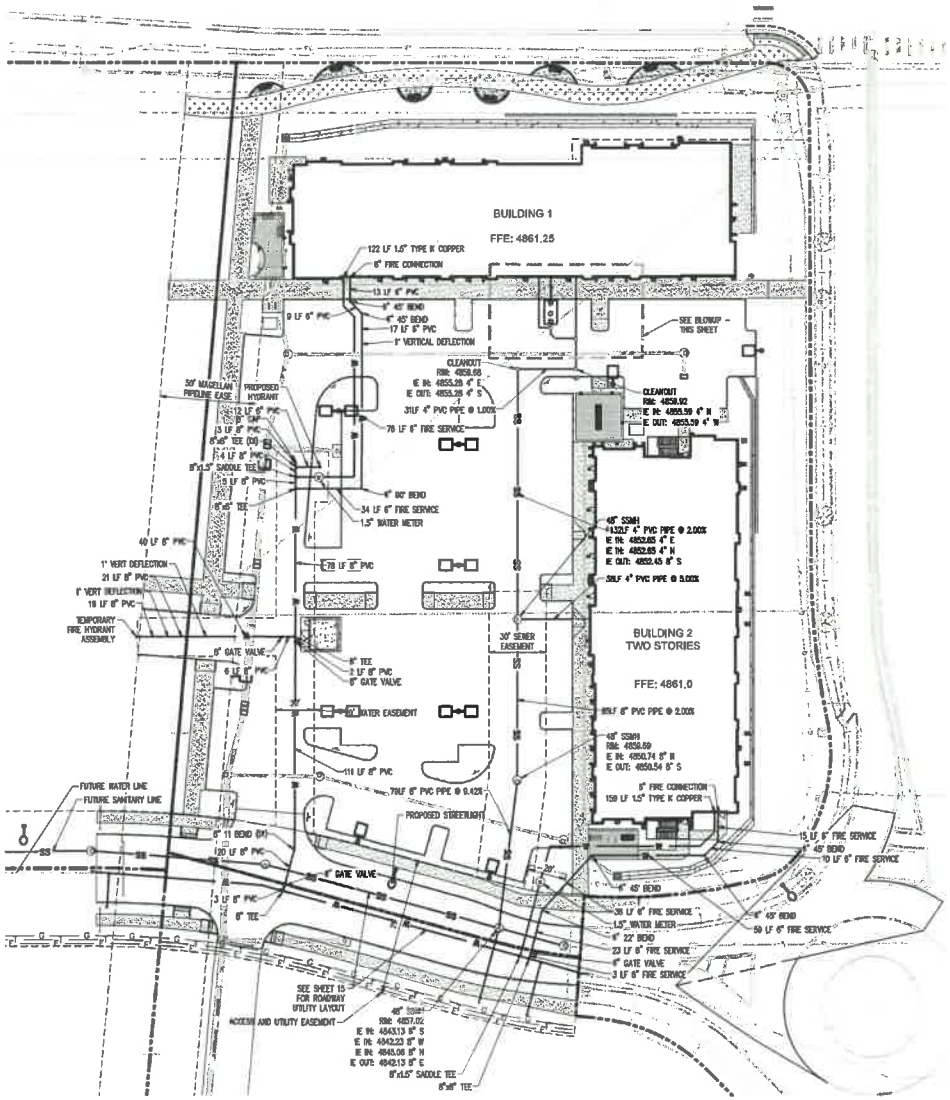
WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.



RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO

WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.



SEE SHEET C-3.3 FOR HORIZONTAL WATER PIPE RESTRAINT JOINT PLAN AND DETAILS

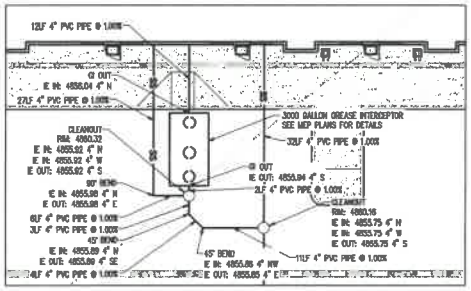
GENERAL UTILITY NOTES

1. ALL IMPROVEMENTS SHALL MEET LOCAL, STATE DOT AND A.P.W.A. STANDARD SPECIFICATIONS.
2. REFER TO INTERIOR PLUMBING DRAWINGS FOR 1E-M OF ALL UTILITIES.
3. ALL FILL MATERIAL SHALL BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. MINIMUM WATER AND SANITARY SEWER TRENCH WIDTH SHALL BE 3 FEET.
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
7. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINE (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE REINFORCED WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL BE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 AND ANSI A21.11 (AWWA C-151) (CLASS 50).
8. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
9. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
10. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
12. CONTRACTOR TO PROVIDE TRENCHING, BACKFILL, 2 – 4" PVC SCHEDULE 40 CONDUITS, AND PULLING WIRES FOR UNDERGROUND TELEPHONE SERVICE FROM EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR TO COORDINATE INSTALLATION AND POINT OF CONNECTION WITH UTILITY PROVIDER.
13. CONTRACTOR IS TO PROVIDE TRENCHING, CONDUIT, AND BACKFILL FOR ALL UNDERGROUND POWER LINE AND VAULTS AS REQUIRED BY UTILITY PROVIDER. POWER LINES AND POLES TO BE INSTALLED BY UTILITY PROVIDER. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING AND FOR PRIMARY ELECTRIC SERVICE LOCATIONS.
14. GAS PIPING SHOWN FOR COORDINATION ONLY. INSTALLATION OF THE GAS MAIN AND METER TO BE ACCOMPLISHED BY UTILITY PROVIDER.
15. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED INSIDE THE BUILDING FOR EACH APPLICABLE USE INCLUDING DOMESTIC, FIRE, AND IRRIGATION SYSTEMS. CONTRACTOR SHALL COORDINATE AND SUPPLY A BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT UPON INSTALLATION. OWNER IS REQUIRED TO SUPPLY AN ANNUAL BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT.

WATER AND SEWER NOTES

FORT COLLINS-LOVELAND WATER DISTRICT & SOUTH FORT COLLINS SANITATION DISTRICT NOTES

1. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED ACCORDING TO THE FORT COLLINS-LOVELAND WATER DISTRICT AND THE SOUTH FORT COLLINS SANITATION DISTRICT STANDARDS AND SPECIFICATIONS.
2. CONSTRUCTION OF WATER AND SEWER FACILITIES REQUIRE A PRECON MEETING WITH DISTRICT INSPECTION STAFF PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL NOTIFY DISTRICT INSPECTORS PRIOR TO STARTING WORK.
4. CONTRACTOR SHALL CONTACT THE SANITATION DISTRICT INSPECTOR FOR SEWER INSPECTION 48 HOURS PRIOR TO CONNECTING TO EXISTING SEWER STUBS.
5. IF GROUNDWATER IS ENCOUNTERED WITHIN DEPTH OF SEWER CONSTRUCTION, MANHOLES MUST BE WATER-PROOFED.
6. CONTRACTOR SHALL CONTACT THE WATER DISTRICT FOR AFTER INSPECTION 48 HOURS PRIOR TO CONNECTING TO EXISTING INFRASTRUCTURE.
7. ALL COMMERCIAL AND DOMESTIC SERVICES REQUIRE A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE.
8. ALL WATER LINES SHALL BE A MINIMUM OF (5) FIVE FEET AND A MAXIMUM OF (6) SIX FEET BELOW FINAL GRADE.
9. ALL DISTRICT VALVES SHALL ONLY BE OPERATED BY DISTRICT OPERATIONS STAFF.
10. PIPE PRESSURE AND VACUUM TESTING SHALL BE WITNESSED BY DISTRICT INSPECTORS. WATERLINE BACTERIA TESTS SHALL ALSO BE TAKEN BY DISTRICT INSPECTORS.
11. ONCE THE SYSTEM IS OPERATIONAL AND ALL TESTS HAVE PASSED, CONTRACTOR SHALL REQUEST SUBSTANTIAL COMPLETION WITH A LETTER TO THE DISTRICT.
12. AS-BUILTS SHALL BE SUBMITTED IN PDF AND DWG TO THE DISTRICT FOR SUBMITTAL COMPLETION.
13. ONCE ALL PUNCH LIST ITEMS ARE COMPLETE, EASEMENTS ARE RECORDED, AND AS-BUILT FILES ARE APPROVED, THE CONTRACTOR SHALL REQUEST FINAL COMPLETION WITH A LETTER TO THE DISTRICT THAT INCLUDES THE DOLLAR VALUE OF THE WATER AND SEWER IMPROVEMENTS LISTED SEPARATELY.



GENERAL UTILITY NOTES
1:10

LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- FENCE
- BUILDING SETBACK
- PROPOSED BUILDING
- W — WATER LINE
- SS — SEWER LINE
- G — GAS LINE
- E — ELECTRIC LINE
- T — COMMUNICATIONS LINE
- SANITARY MANHOLE

NORTH
1 inch = 30 ft.

FORT COLLINS - LOVELAND WATER DISTRICT
SOUTH FORT COLLINS SANITATION DISTRICT

District Engineer Date

All changes, addendums, additions, deletions and modifications to these drawings must be approved, in writing, by the Fort Collins-Loveland Water District and the South Fort Collins Sanitation District.

NOTE:
CONTRACTOR SHALL POTHOLE ALL NEW AND/OR EXISTING UTILITY CROSSINGS AND POINTS OF CONNECTION TO CONFIRM DEPTH AND LOCATION AS FIRST ORDER OF WORK.

811 Know what's below. Call before you dig.

LOGO
RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Unit A
Windsor, CO 80550
T (970) 663-4657
W ridgetopengr.com

SEAL

PROJECT NAME
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY:	RSB
CHECKED BY:	MRB
PROJECT NO.:	--

REVISIONS

COMMENTS	6/2/22
COMMENTS	11/22/22
LIGHT REVISIONS	2/8/23
COMMENTS	3/27/23

DATE
12/29/2021

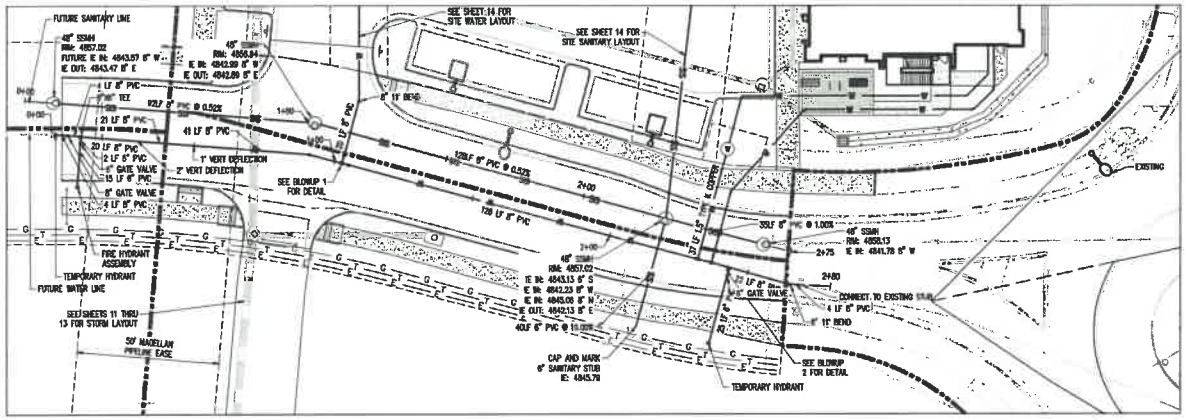
SHEET NAME
UTILITY PLAN

SHEET INFORMATION
C-3.0

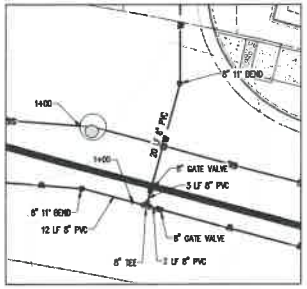
File: S:\2021\2021Proj Folder - Pr\Riverbend\Timnath\Schumann Companies\Lot 1 Riverbend JOB-187-2021\C Drawings\ Plotted by: Mike Date: 27-Mar-23 4:03:16pm

RIVERBEND LOT 1

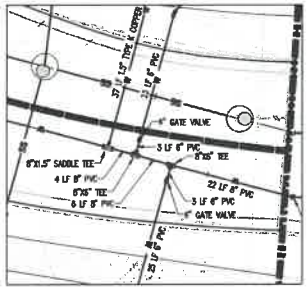
NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO



WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.



BLOWUP 1
1:10



BLOWUP 2
1:10

SEE SHEET C-3.5 FOR HORIZONTAL WATER PIPE RESTRAINT JOINT PLAN AND DETAILS

LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- FENCE
- BUILDING SETBACK
- PROPOSED BUILDING
- W — WATER LINE
- SS — SEWER LINE
- G — GAS LINE
- E — ELECTRIC LINE
- T — COMMUNICATIONS LINE
- SANITARY MANHOLE

GENERAL UTILITY NOTES

1. ALL IMPROVEMENTS SHALL MEET LOCAL, STATE DOT AND A.P.W.A. STANDARD SPECIFICATIONS.
2. REFER TO INTERIOR PLUMBING DRAWINGS FOR 1½"–4" OF ALL UTILITIES.
3. ALL FILL MATERIAL SHALL BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. MINIMUM WATER AND SANITARY SEWER TRENCH WIDTH SHALL BE 2 FEET.
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
7. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINE (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE REINFORCED WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL BE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 AND ANSI A21.11 (AWWA C-151) (CLASS 50).
8. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
9. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
10. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
12. CONTRACTOR TO PROVIDE TRENCHING, BACKFILL, 2 – 4" PVC SCHEDULE 40 CONDUITS, AND PULLING WIRES FOR UNDERGROUND TELEPHONE SERVICE FROM EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR TO COORDINATE INSTALLATION AND POINT OF CONNECTION WITH UTILITY PROVIDER.
13. CONTRACTOR IS TO PROVIDE TRENCHING, CONDUIT, AND BACKFILL FOR ALL UNDERGROUND POWER LINE AND VAULTS AS REQUIRED BY UTILITY PROVIDER. POWER LINES AND POLES TO BE INSTALLED BY UTILITY PROVIDER. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING AND FOR PRIMARY ELECTRIC SERVICE LOCATIONS.
14. GAS PIPING SHOWN FOR COORDINATION ONLY. INSTALLATION OF THE GAS MAIN AND METER TO BE ACCOMPLISHED BY UTILITY PROVIDER.
15. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED INSIDE THE BUILDING FOR EACH APPLICABLE USE INCLUDING DOMESTIC, FIRE, AND IRRIGATION SYSTEMS. CONTRACTOR SHALL COORDINATE AND SUPPLY A BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT UPON INSTALLATION. OWNER IS REQUIRED TO SUPPLY AN ANNUAL BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT.

WATER AND SEWER NOTES

FORT COLLINS–LOVELAND WATER DISTRICT & SOUTH FORT COLLINS SANITATION DISTRICT NOTES

1. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED ACCORDING TO THE FORT COLLINS–LOVELAND WATER DISTRICT AND THE SOUTH FORT COLLINS SANITATION DISTRICT STANDARDS AND SPECIFICATIONS.
2. CONSTRUCTION OF WATER AND SEWER FACILITIES REQUIRE A PRECON MEETING WITH DISTRICT INSPECTION STAFF PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL NOTIFY DISTRICT INSPECTORS PRIOR TO STARTING WORK.
4. CONTRACTOR SHALL CONTACT THE SANITATION DISTRICT INSPECTOR FOR SEWER INSPECTION 48 HOURS PRIOR TO CONNECTING TO EXISTING SEWER STUBS.
5. IF GROUNDWATER IS ENCOUNTERED WITHIN DEPTH OF SEWER CONSTRUCTION, MANHOLES MUST BE WATER-PROOFED.
6. CONTRACTOR SHALL CONTACT THE WATER DISTRICT FOR AFTER INSPECTION 48 HOURS PRIOR TO CONNECTING TO EXISTING INFRASTRUCTURE.
7. ALL COMMERCIAL AND DOMESTIC SERVICES REQUIRE A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE.
8. ALL WATER LINES SHALL BE A MINIMUM OF (5) FIVE FEET AND A MAXIMUM OF (8) SIX FEET BELOW FINAL GRADE.
9. ALL DISTRICT VALVES SHALL ONLY BE OPERATED BY DISTRICT OPERATIONS STAFF.
10. PIPE PRESSURE AND VACUUM TESTING SHALL BE WITNESSED BY DISTRICT INSPECTORS. WATERLINE BACTERIA TESTS SHALL ALSO BE TAKEN BY DISTRICT INSPECTORS.
11. ONCE THE SYSTEM IS OPERATIONAL AND ALL TESTS HAVE PASSED, CONTRACTOR SHALL REQUEST SUBSTANTIAL COMPLETION WITH A LETTER TO THE DISTRICT.
12. AS-BUILTS SHALL BE SUBMITTED IN PDF AND DWG TO THE DISTRICT FOR SUBMITTAL COMPLETION.
13. ONCE ALL PUNCH LIST ITEMS ARE COMPLETE, EASEMENTS ARE RECORDED, AND AS-BUILT FILES ARE APPROVED, THE CONTRACTOR SHALL REQUEST FINAL COMPLETION WITH A LETTER TO THE DISTRICT THAT INCLUDES THE DOLLAR VALUE OF THE WATER AND SEWER IMPROVEMENTS LISTED SEPARATELY.

NORTH
1 inch = 20 ft.

NOTE:
CONTRACTOR SHALL POTHOLE ALL NEW AND/OR EXISTING UTILITY CROSSINGS AND POINTS OF CONNECTION TO CONFIRM DEPTH AND LOCATION AS FIRST ORDER OF WORK.

811
Know what's below. Call before you dig.

LOGO
RIDGETOP ENGINEERING & SURVEYING
941 E. Garden Drive, Unit 5
Windsor, CO 80550
T (970) 663-4663
ridgetopeng.com

SEAL

PROJECT NAME
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

DRAWING
SITE PLAN

DRAWN BY: RSB
CHECKED BY: MRB
PROJECT NO.: —

REVISIONS
COMMENTS 9/2/22
COMMENTS 11/22/22
LIGHT REVISIONS 2/8/22
COMMENTS 9/27/23

DATE
12/29/2021

SHEET TITLE
UTILITY PLAN

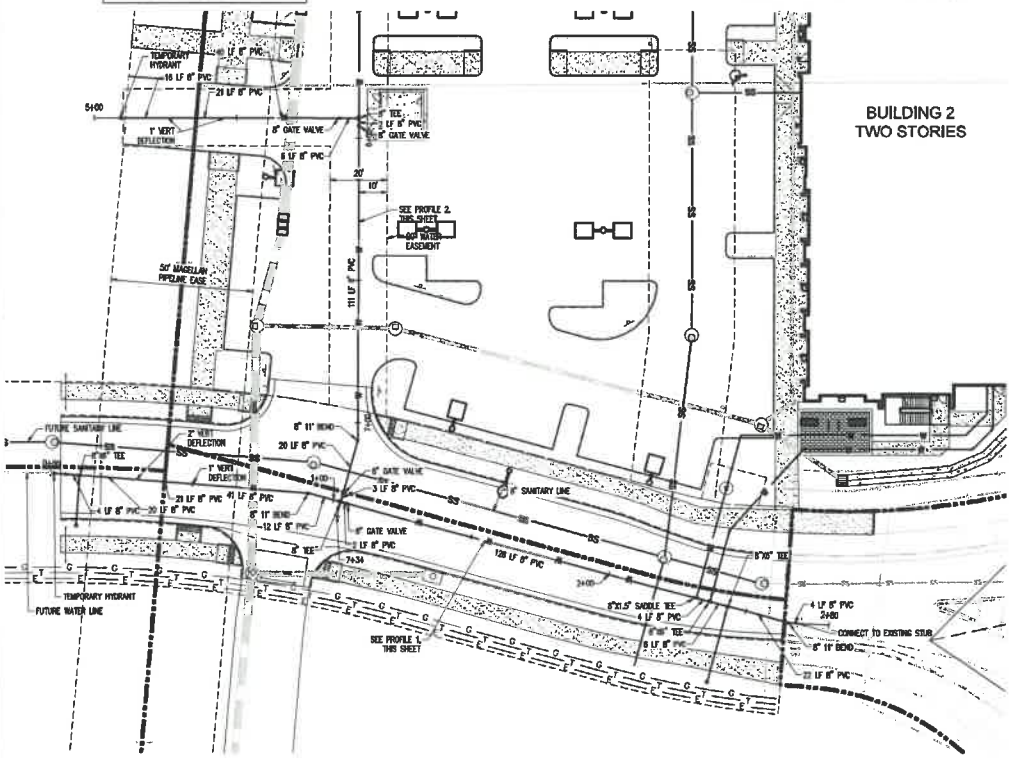
SHEET DESIGNATION
C-3.1

File: S:\2018\2018\Proj Public P:\Colorado\Timnath\Schumann Companies\Lot 1 Riverbend (RC-18)-001\2 Drawings\ Plotted by: Mike Date: 27-Mar-23 8:03:44pm

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO

WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.



LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- FENCE
- BUILDING SETBACK
- PROPOSED BUILDING
- W — WATER LINE
- SS — SEWER LINE
- G — GAS LINE
- E — ELECTRIC LINE
- T — COMMUNICATIONS LINE
- SANITARY MANHOLE

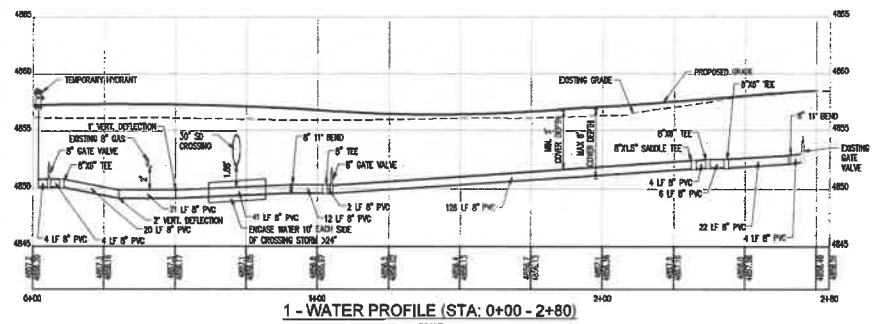
GENERAL UTILITY NOTES

1. ALL IMPROVEMENTS SHALL MEET LOCAL, STATE DOT AND A.P.W.A. STANDARD SPECIFICATIONS.
2. REFER TO INTERIOR PLUMBING DRAWINGS FOR 1½"-IN OF ALL UTILITIES.
3. ALL FILL MATERIAL SHALL BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. MINIMUM WATER AND SANITARY SEWER TRENCH WIDTH SHALL BE 3 FEET.
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
7. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINE (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE REINFORCED WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL BE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 AND ANSI A21.11 (AWWA C-151) (CLASS 50).
8. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
9. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
10. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
12. CONTRACTOR TO PROVIDE TRENCHING, BACKFILL, 2 – 4" PVC SCHEDULE 40 CONDUITS, AND PULLING WIRES FOR UNDERGROUND TELEPHONE SERVICE FROM EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR TO COORDINATE INSTALLATION AND POINT OF CONNECTION WITH UTILITY PROVIDER.
13. CONTRACTOR IS TO PROVIDE TRENCHING, CONDUIT, AND BACKFILL FOR ALL UNDERGROUND POWER LINE AND VAULTS AS REQUIRED BY UTILITY PROVIDER. POWER LINES AND POLES TO BE INSTALLED BY UTILITY PROVIDER. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING AND FOR PRIMARY ELECTRIC SERVICE LOCATIONS.
14. GAS PIPING SHOWN FOR COORDINATION ONLY. INSTALLATION OF THE GAS MAIN AND METER TO BE ACCOMPLISHED BY UTILITY PROVIDER.
15. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED INSIDE THE BUILDING FOR EACH APPLICABLE USE INCLUDING DOMESTIC, FIRE, AND IRRIGATION SYSTEMS. CONTRACTOR SHALL COORDINATE AND SUPPLY A BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT UPON INSTALLATION. OWNER IS REQUIRED TO SUPPLY AN ANNUAL BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT.

WATER AND SEWER NOTES

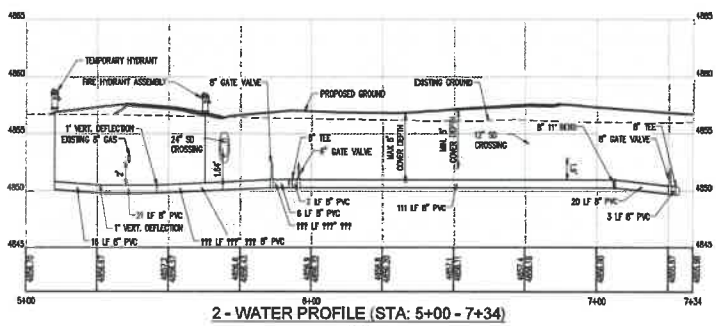
FORT COLLINS–LOVELAND WATER DISTRICT & SOUTH FORT COLLINS SANITATION DISTRICT NOTES

1. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED ACCORDING TO THE FORT COLLINS–LOVELAND WATER DISTRICT AND THE SOUTH FORT COLLINS SANITATION DISTRICT STANDARDS AND SPECIFICATIONS.
2. CONSTRUCTION OF WATER AND SEWER FACILITIES REQUIRE A PRECON MEETING WITH DISTRICT INSPECTION STAFF PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL NOTIFY DISTRICT INSPECTORS PRIOR TO STARTING WORK.
4. CONTRACTOR SHALL CONTACT THE SANITATION DISTRICT INSPECTOR FOR SEWER INSPECTION 48 HOURS PRIOR TO CONNECTING TO EXISTING SEWER STUBS.
5. IF GROUNDWATER IS ENCOUNTERED WITHIN DEPTH OF SEWER CONSTRUCTION, MANHOLES MUST BE WATER–PROOFED.
6. CONTRACTOR SHALL CONTACT THE WATER DISTRICT FOR AFTER INSPECTION 48 HOURS PRIOR TO CONNECTING TO EXISTING INFRASTRUCTURE.
7. ALL COMMERCIAL AND DOMESTIC SERVICES REQUIRE A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE.
8. ALL WATER LINES SHALL BE A MINIMUM OF (5) FIVE FEET AND A MAXIMUM OF (6) SIX FEET BELOW FINAL GRADE.
9. ALL DISTRICT VALVES SHALL ONLY BE OPERATED BY DISTRICT OPERATIONS STAFF.
10. PIPE PRESSURE AND VACUUM TESTING SHALL BE WITNESSED BY DISTRICT INSPECTORS. WATERLINE BACTERIA TESTS SHALL ALSO BE TAKEN BY DISTRICT INSPECTORS.
11. ONCE THE SYSTEM IS OPERATIONAL AND ALL TESTS HAVE PASSED, CONTRACTOR SHALL REQUEST SUBSTANTIAL COMPLETION WITH A LETTER TO THE DISTRICT.
12. AS–BUILTS SHALL BE SUBMITTED IN PDF AND DWG TO THE DISTRICT FOR FINAL APPROVAL.
13. ONCE ALL PUNCH LIST ITEMS ARE COMPLETE, EASEMENTS ARE RECORDED, AND AS–BUILT FILES ARE APPROVED, THE CONTRACTOR SHALL REQUEST FINAL COMPLETION WITH A LETTER TO THE DISTRICT THAT INCLUDES THE DOLLAR VALUE OF THE WATER AND SEWER IMPROVEMENTS LISTED SEPARATELY.



1 - WATER PROFILE (STA: 0+00 - 2+80)

SCALE
H: 1" = 20'
V: 1" = 5'



2 - WATER PROFILE (STA: 5+00 - 7+34)

SCALE
H: 1" = 20'
V: 1" = 5'

NOTE:
CONTRACTOR SHALL POTHOLE ALL NEW AND/OR EXISTING UTILITY CROSSINGS AND POINTS OF CONNECTION TO CONFIRM DEPTH AND LOCATION AS FIRST ORDER OF WORK.

811 Know what's below. Call before you dig.

LOGO: RIDGETOP ENGINEERING & SURVEYING
841 E. Garden Drive, Unit B
Windsor, CO 80550
T (970) 663-4853
E info@ridgetopcorp.com

SEAL

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY: RSB
CHECKED BY: MRB
PROJECT NO.: ---

REVISIONS
COMMENTS 8/2/22
COMMENTS 11/22/22
LIGHT REVISIONS 2/8/22
COMMENTS 3/27/23

DATE
12/29/2021

SHEET TITLE
WATER PROFILE

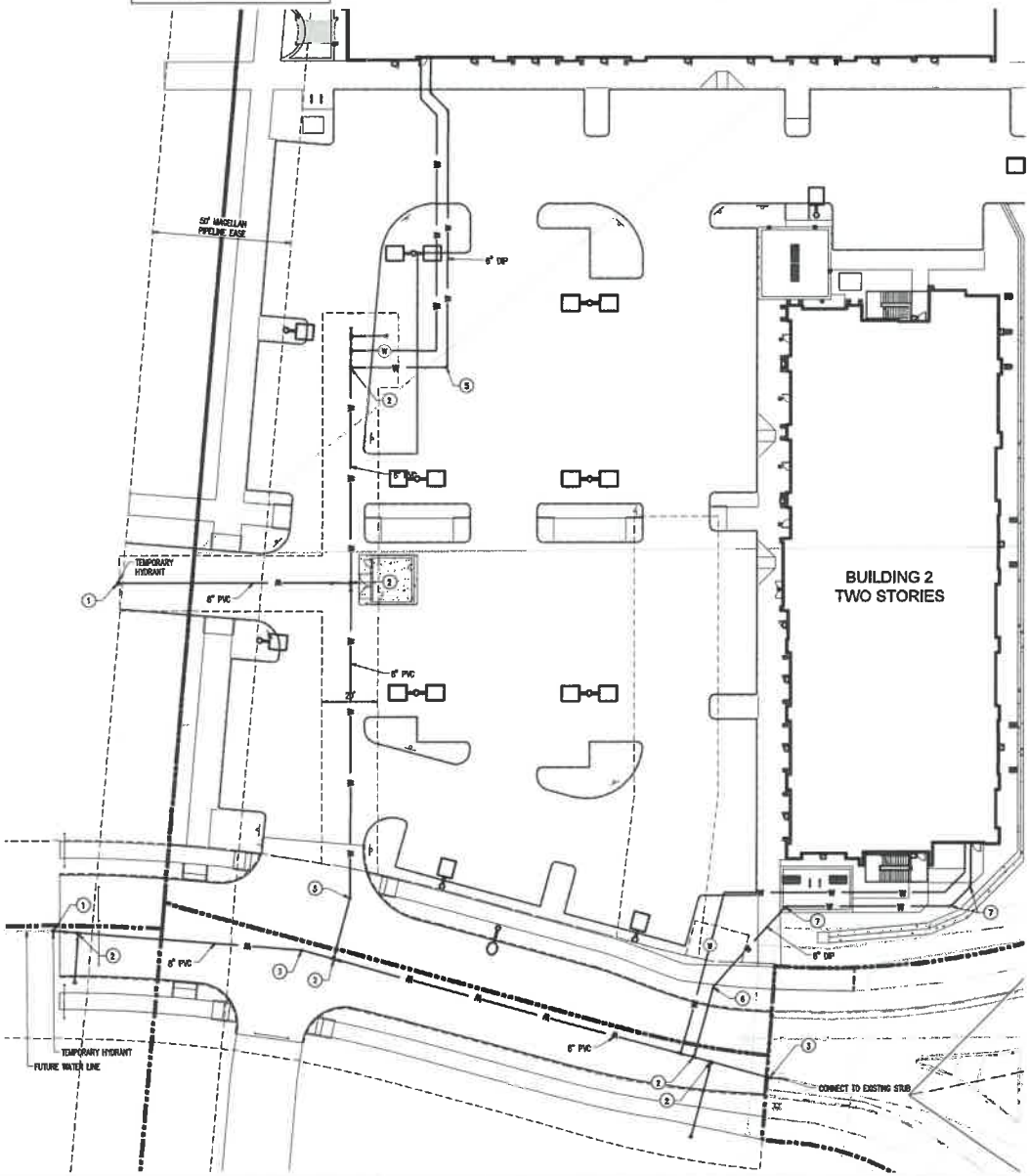
SHEET NUMBER
C-3.2

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO

WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.

NORTH
1 inch = 30 ft.



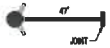
LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- FENCE
- BUILDING SETBACK
- PROPOSED BUILDING
- W — WATER LINE
- SS — SEWER LINE
- G — GAS LINE
- E — ELECTRIC LINE
- T — COMMUNICATIONS LINE
- SANITARY MANHOLE

8" PVC RESTRAINT JOINT INFO.

(NO THRUST BLOCKS)

① 8" DEAD END (TEMP HYDRANT) RESTRAINT JOINT: 47FT



④ 8"x6" REDUCER RESTRAINT JOINT: 20FT

② 8"x8"x8" TEE OR 8"x6"x6" TEE RESTRAINT JOINT: 1FT OFF BRANCH

③ 8"x22.5° 11° HORIZONTAL BEND RESTRAINT JOINT: 2FT

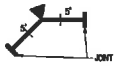
6" DIP RESTRAINT JOINT INFO.

(NO THRUST BLOCKS)

⑤ 6"x6" 90° BEND RESTRAINT JOINT: 10FT

⑥ 6"x6" 22° BEND RESTRAINT JOINT: 2FT

⑦ 6"x6" 45° BEND RESTRAINT JOINT: 5FT



NOTE:
CONTRACTOR SHALL POTHOLE ALL NEW AND/OR EXISTING UTILITY CROSSINGS AND POINTS OF CONNECTION TO CONFIRM DEPTH AND LOCATION AS FIRST ORDER OF WORK.

811 Know what's below, Call before you dig.

LOGO
RIDGETOP ENGINEERING & SURVEYING
941 E. Gordon Drive, Unit B
Windsor, CO 80550
T (970) 629-1557
W ridgetopeng.com

SEAL

PROJECT NAME
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7365 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY:	RSG
CHECKED BY:	MRB
PROJECT NO.:	—

REVISIONS

COMMENTS	6/2/22
COMMENTS	11/22/22
LIGHT REVISIONS	2/6/23
COMMENTS	9/27/23

DATE
12/29/2021

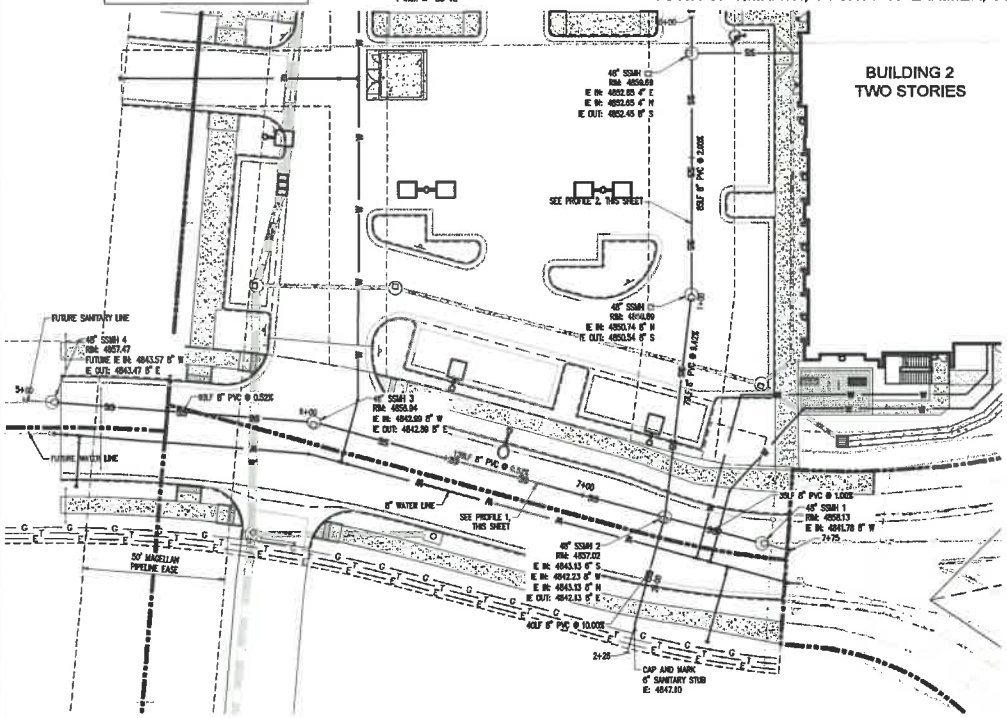
SHEET TITLE
HORIZONTAL WATER RESTRAINT PLAN

SHEET NUMBER
C-3.3

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO

WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.



LEGEND

- PROPERTY LINE
- CURB AND GUTTER
- FENCE
- BUILDING SETBACK
- PROPOSED BUILDING
- W — WATER LINE
- SS — SEWER LINE
- G — GAS LINE
- E — ELECTRIC LINE
- T — COMMUNICATIONS LINE
- SANITARY MANHOLE

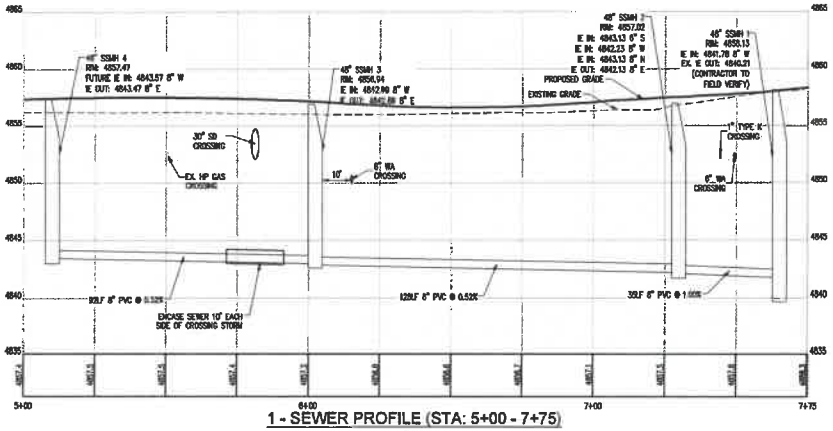
GENERAL UTILITY NOTES

1. ALL IMPROVEMENTS SHALL MEET LOCAL, STATE DOT AND A.P.W.A. STANDARD SPECIFICATIONS.
2. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
3. ALL FILL MATERIAL SHALL BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. MINIMUM WATER AND SANITARY SEWER TRENCH WIDTH SHALL BE 2 FEET.
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
7. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINE (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE REINFORCED WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL BE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 AND ANSI A21.11 (AWWA C-151) (CLASS 50).
8. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
9. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
10. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
12. CONTRACTOR TO PROVIDE TRENCHING, BACKFILL, 2 – 4" PVC SCHEDULE 40 CONDUITS, AND PULLING WIRES FOR UNDERGROUND TELEPHONE SERVICE FROM EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR TO COORDINATE INSTALLATION AND POINT OF CONNECTION WITH UTILITY PROVIDER.
13. CONTRACTOR IS TO PROVIDE TRENCHING, CONDUIT, AND BACKFILL FOR ALL UNDERGROUND POWER LINE AND VAULTS AS REQUIRED BY UTILITY PROVIDER. POWER LINES AND POLES TO BE INSTALLED BY UTILITY PROVIDER. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING AND FOR PRIMARY ELECTRIC SERVICE LOCATIONS.
14. GAS PIPING SHOWN FOR COORDINATION ONLY. INSTALLATION OF THE GAS MAIN AND METER TO BE ACCOMPLISHED BY UTILITY PROVIDER.
15. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED INSIDE THE BUILDING FOR EACH APPLICABLE USE INCLUDING DOMESTIC, FIRE, AND IRRIGATION SYSTEMS. CONTRACTOR SHALL COORDINATE AND SUPPLY A BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT UPON INSTALLATION. OWNER IS REQUIRED TO SUPPLY AN ANNUAL BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT.

WATER AND SEWER NOTES

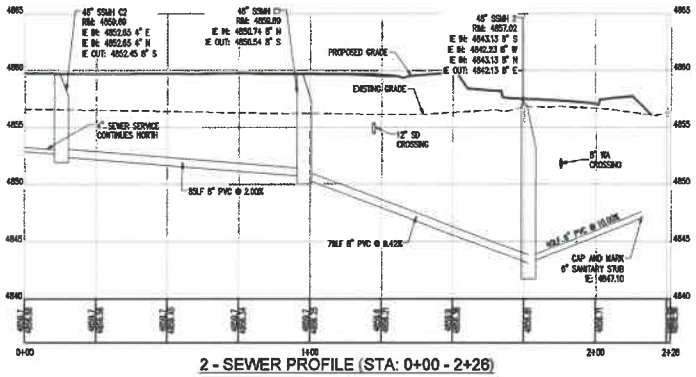
FORT COLLINS–LOVELAND WATER DISTRICT & SOUTH FORT COLLINS SANITARION DISTRICT NOTES

1. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED ACCORDING TO THE FORT COLLINS–LOVELAND WATER DISTRICT AND THE SOUTH FORT COLLINS SANITARION DISTRICT STANDARDS AND SPECIFICATIONS.
2. CONSTRUCTION OF WATER AND SEWER FACILITIES REQUIRE A PRECON MEETING WITH DISTRICT INSPECTION STAFF PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL NOTIFY DISTRICT INSPECTORS PRIOR TO STARTING WORK.
4. CONTRACTOR SHALL CONTACT THE SANITATION DISTRICT INSPECTOR FOR SEWER INSPECTION 48 HOURS PRIOR TO CONNECTING TO EXISTING SEWER STUBS.
5. IF GROUNDWATER IS ENCOUNTERED WITHIN DEPTH OF SEWER CONSTRUCTION, MANHOLES MUST BE WATER–PROOFED.
6. CONTRACTOR SHALL CONTACT THE WATER DISTRICT FOR AFTER INSPECTION 48 HOURS PRIOR TO CONNECTING TO EXISTING INFRASTRUCTURE.
7. ALL COMMERCIAL AND DOMESTIC SERVICES REQUIRE A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE.
8. ALL WATER LINES SHALL BE A MINIMUM OF (5) FIVE FEET AND A MAXIMUM OF (6) SIX FEET BELOW FINAL GRADE.
9. ALL DISTRICT VALVES SHALL ONLY BE OPERATED BY DISTRICT OPERATIONS STAFF.
10. PIPE PRESSURE AND VACUUM TESTING SHALL BE WITNESSED BY DISTRICT INSPECTORS. WATERLINE BACTERIA TESTS SHALL ALSO BE TAKEN BY DISTRICT INSPECTORS.
11. ONCE THE SYSTEM IS OPERATIONAL AND ALL TESTS HAVE PASSED, CONTRACTOR SHALL REQUEST SUBSTANTIAL COMPLETION WITH A LETTER TO THE DISTRICT.
12. AS-BUILTS SHALL BE SUBMITTED IN PDF AND DWG TO THE DISTRICT FOR FINAL APPROVAL.
13. ONCE ALL PUNCH LIST ITEMS ARE COMPLETE, EASEMENTS ARE RECORDED, AND AS-BUILT FILES ARE APPROVED, THE CONTRACTOR SHALL REQUEST FINAL COMPLETION WITH A LETTER TO THE DISTRICT THAT INCLUDES THE DOLLAR VALUE OF THE WATER AND SEWER IMPROVEMENTS LISTED SEPARATELY.



1 - SEWER PROFILE (STA: 5+00 - 7+75)

SCALE
H: 1" = 20'
V: 1" = 5'



2 - SEWER PROFILE (STA: 0+00 - 2+26)

SCALE
H: 1" = 20'
V: 1" = 5'

NOTE:
CONTRACTOR SHALL POTHOLE ALL NEW AND/OR EXISTING UTILITY CROSSINGS AND POINTS OF CONNECTION TO CONFIRM DEPTH AND LOCATION AS FIRST ORDER OF WORK.

811 Know what's below. Call before you dig.

RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Unit N
Windsor, CO 80550
T (970) 663-4663
W ridgetopcorp.com

SEAL

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY: —
CHECKED BY: NRB
PROJECT NO.: —

REVISIONS	
COMMENTS	6/2/22
COMMENTS	11/22/22
LIGHT REVISIONS	2/8/22
COMMENTS	3/7/23

DATE
12/29/2021

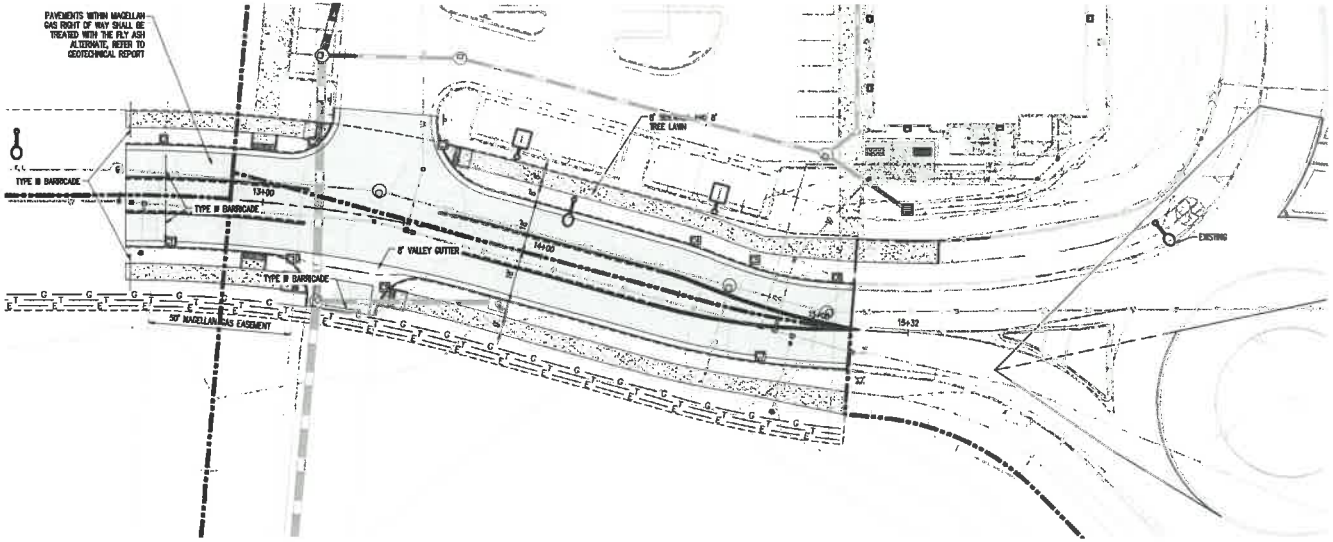
SHEET TITLE
SEWER PROFILE

SHEET INFORMATION
C-3.4

File: S:\2021\Land Folio: P:\Colorado\Timnath\Schuman Companies\Lot 1 Riverbend\ RD-187-001\2 Drawings\ , Plotted by: Mike Date: 27-Mar-23 4:05:10pm

RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO



LEGEND

- ASPHALTIC CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- PROPERTY LINE
- EDGE OF PAVEMENT
- CURB AND GUTTER
- SS — SANITARY SEWER MAIN
- W — WATER MAIN

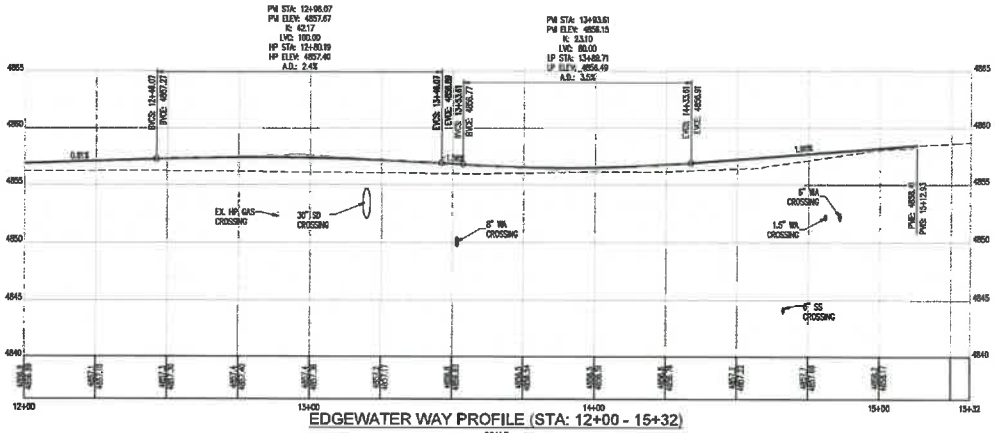
ABBREVIATIONS

PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PCC	POINT OF COMPOUND CURVATURE

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	56.53	518.00	6.25	S86° 52' 24"E	56.51
C2	23.95	14.99	91.53	N50° 31' 31"E	21.48
C3	35.16	25.00	80.56	S35° 25' 16"E	32.33
C4	12.31	150.00	4.70	S72° 37' 44"E	12.30
C5	37.86	298.95	7.26	S73° 54' 25"E	37.84
C6	13.55	210.00	3.70	S86° 13' 05"E	13.55
C7	59.05	332.71	10.17	N82° 43' 30"W	58.97
C9	24.28	15.00	92.75	S56° 16' 05"W	21.72
C10	24.05	15.00	91.85	S38° 03' 39"E	21.55
C11	50.67	485.19	5.98	S86° 59' 50"E	50.64

WARNING
HIGH-PRESSURE PIPELINE(S)
EXCAVATION AND/OR CONSTRUCTION PROHIBITED WITHOUT COMPLIANCE WITH STATE ONE-CALL, AND WITHOUT WRITTEN PERMISSION FROM MAGELLAN PIPELINE COMPANY, L.P.



EDGEWATER WAY PROFILE (STA: 12+00 - 15+32)

SCALE
H: 1" = 20'
V: 1" = 5'

1 inch = 20 ft.

Know what's below. Call before you dig.

RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Unit F
Windsor, CO 80550
T (970) 663-4622
W ridgetopesg.com

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY: —
CHECKED BY: MRB
PROJECT NO.: —

REVISIONS

COMMENTS	6/2/22
COMMENTS	11/22/22
MINOR REVISIONS	2/8/22
COMMENTS	9/27/23

DATE
12/29/2021

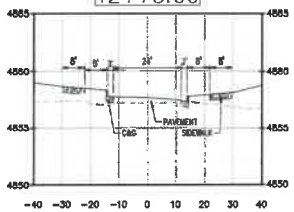
SHEET TITLE
PRIVATE ROADWAY PLAN AND PROFILE

SHEET INFORMATION
CR-1.0

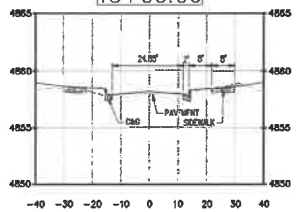
RIVERBEND LOT 1

NW ¼ SECTION 2 , TOWNSHIP 6 NORTH, RANGE 68 WEST, 6TH P.M.
TOWN OF TIMNATH, COUNTY OF LARIMER, STATE OF COLORADO

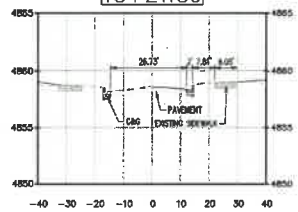
12+75.00



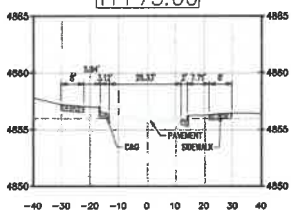
13+00.00



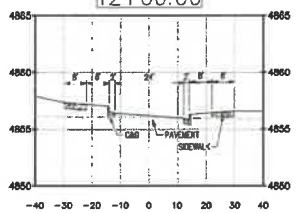
13+21.89



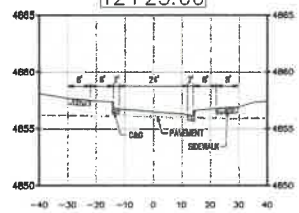
11+75.00



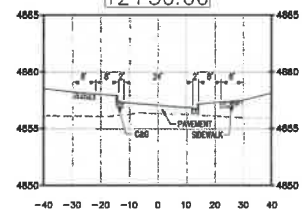
12+00.00



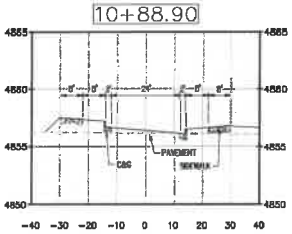
12+25.00



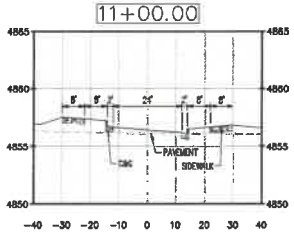
12+50.00



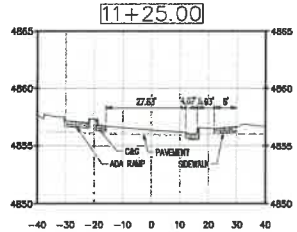
10+88.90



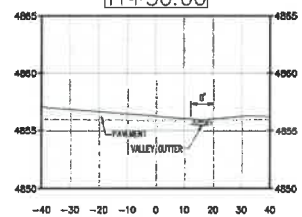
11+00.00



11+25.00



11+50.00



SECTION VIEWS SCALE
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 5'

Know what's below.
Call before you dig.

LOGO
RIDGETOP ENGINEERING & SURVEYING
841 E. Conton Drive, Unit B
Windsor, CO 80550
T: (970) 663-4002
W: ridgetopcorp.com

SEAL

PROJECT TITLE
RIVERBEND LOT 1

SW CORNER OF SIGNAL TREE DR AND EAST HARMONY RD
TIMNATH, CO 80547

PREPARED FOR
SCHUMAN COMPANIES

7385 GREENDALE RD, #104
WINDSOR, CO 80550

SUBMITTAL
SITE PLAN

DRAWN BY: —
CHECKED BY: MRB
PROJECT NO.: —

REVISIONS

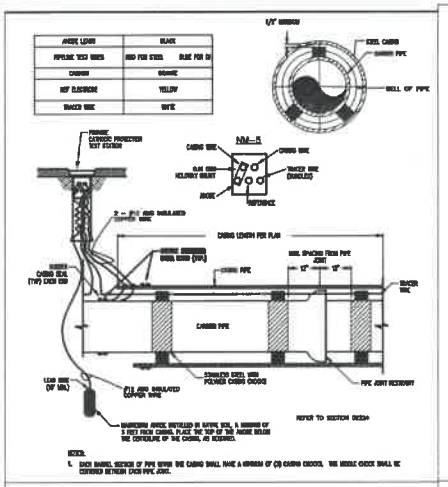
COMMENTS	8/2/22
COMMENTS	11/22/22
LIGHT REVISIONS	2/8/22
COMMENTS	3/27/23

DATE
12/29/2021

SHEET TITLE
PRIVATE ROAD CROSS SECTIONS

SHEET INFORMATION
CR-2.0

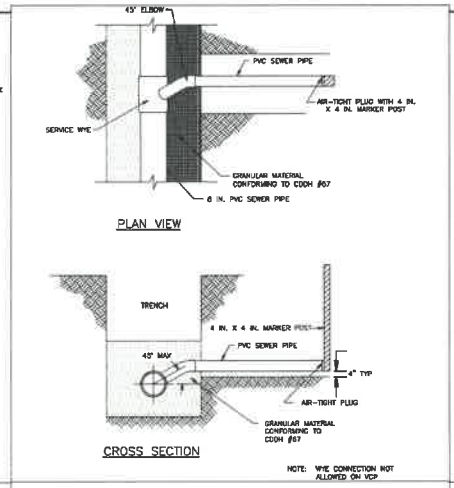
File: 5208100\02.dwg Plotted: P:\Colorado\Timnath\Schuman Companies\Lot 1 Riverbend (01-167-005)\2 Drawings\ Plotted by: Mike Date: 27-Mar-23 6:06:06pm



TYPICAL PIPE CASING

SOUTH FORT COLLINS SANITATION DISTRICT
Office (970) 226-3104 Fax (970) 226-0186
APPROVED:
DATE: 9-20-2013
SCALE: NTS

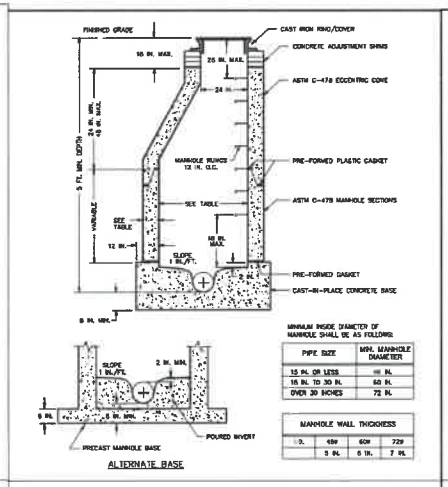
PIPE CASING
NTS
8



TYPICAL SANITARY SEWER SERVICE CONNECTION

SOUTH FORT COLLINS SANITATION DISTRICT
Office (970) 226-3104 Fax (970) 226-0186
APPROVED:
DATE: 12-15-2010
SCALE: NTS

TYPICAL SEWER CONNECTION
NTS
7



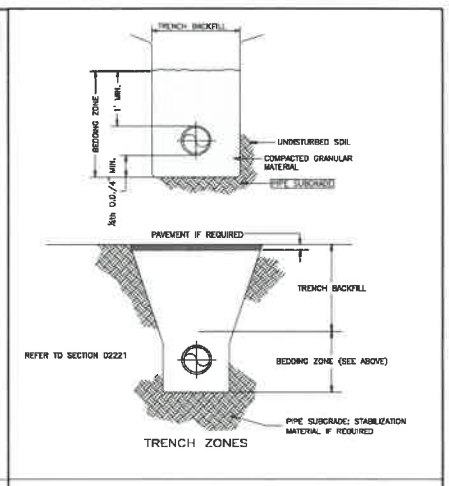
PIPE SIZE	MIN. MANHOLE DIAMETER
15 IN. OR LESS	48 IN.
15 IN. TO 30 IN.	60 IN.
OVER 30 INCHES	72 IN.

I.D.	48"	60"	72"
	5 IN.	6 IN.	7 IN.

TYPICAL MANHOLE

SOUTH FORT COLLINS SANITATION DISTRICT
Office (970) 226-3104 Fax (970) 226-0186
APPROVED:
DATE: 1-28-2014
SCALE: NTS

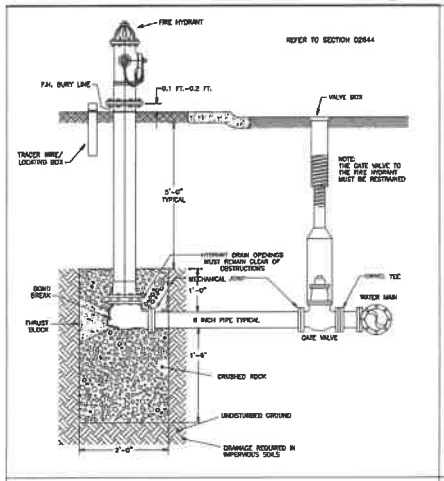
SANITARY MANHOLE
NTS
6



TRENCH AND BEDDING TYPICAL

SOUTH FORT COLLINS SANITATION DISTRICT
Office (970) 226-3104 Fax (970) 226-0186
APPROVED:
DATE: 12-15-2010
SCALE: NTS

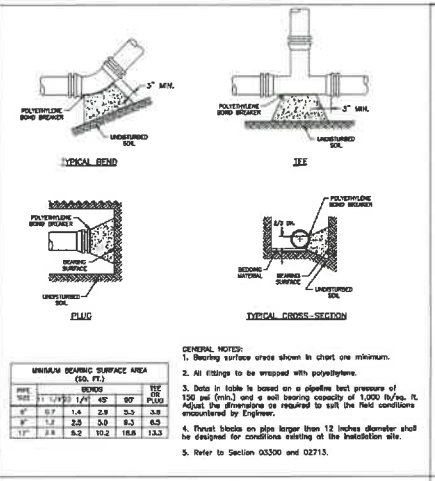
TRENCH AND BEDDING
NTS
5



TYPICAL FIRE HYDRANT INSTALLATION

FORT COLLINS – LOVELAND WATER DISTRICT
Office (970) 226-3104 Fax (970) 226-0186
APPROVED:
DATE: 6-10-2010
SCALE: NTS

FIRE HYDRANT ASSEMBLY
NTS
4



MINIMUM BEARING SURFACE AREA (SQ. FT.)

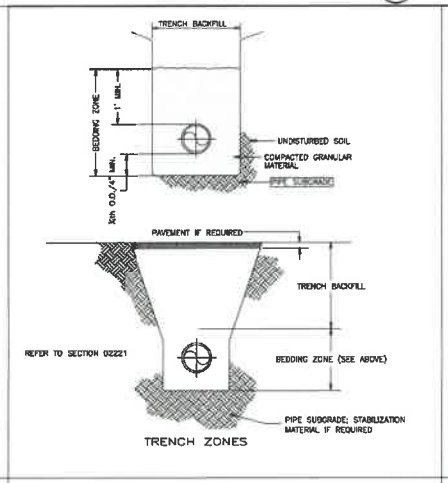
PIPE SIZE	BENDS 11 1/4°	22 1/2°	45°	90°	TEE OR PLUG
4"	0.7	1.4	2.8	5.3	3.8
6"	1.2	2.5	5.0	9.3	6.5
12"	3.6	8.2	10.2	18.6	13.3

GENERAL NOTES:
1. Bearing surface areas shown in chart are minimum.
2. All fittings to be wrapped with polyethylene.
3. Data in table is based on a pipeline test pressure of 150 psi (min.) and a soil bearing capacity of 1,000 lb/sq. ft. Adjust the dimensions as required to suit the field conditions encountered by Engineer.
4. Thrust blocks on pipe larger than 12 inches diameter shall be designed for conditions existing at the installation site.
5. Refer to Section 03300 and 02713.

TYPICAL CONCRETE THRUST BLOCKS

FORT COLLINS – LOVELAND WATER DISTRICT
Office (970) 226-3104 Fax (970) 226-0186
APPROVED:
DATE: 6-10-2010
SCALE: NTS

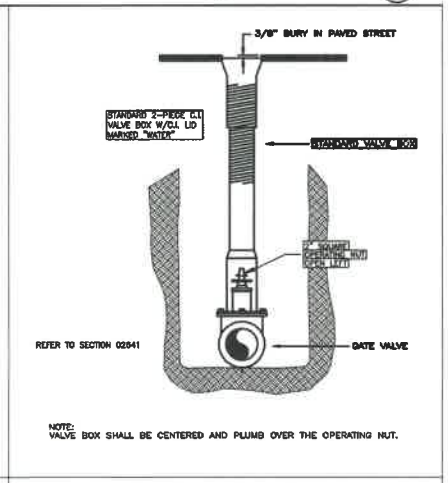
THRUST BLOCKS
NTS
3



TRENCH AND BEDDING TYPICAL

FORT COLLINS – LOVELAND WATER DISTRICT
Office (970) 226-3104 Fax (970) 226-0186
APPROVED:
DATE: 9-18-2019
SCALE: NTS

TYPICAL TRENCH
NTS
2



TYPICAL GATE VALVE INSTALLATION

FORT COLLINS – LOVELAND WATER DISTRICT
Office (970) 226-3104 Fax (970) 226-0186
APPROVED:
DATE: 6-10-2010
SCALE: NTS

GATE VALVE
NTS
1

RIDGETOP ENGINEERING & SURVEYING
943 S. Garden Drive, Unit B
Windsor, CO 80550
T. (970) 663-4063
W. ridgetopeng.com

SEAL

PROJECT NAME
RIVERBEND SUBDIVISION

SEC HARMONY RD & SIGNAL TREE DR

PROPRIETOR
RIVERBEND VENTURES, LLC

2725 ROCKY MOUNTAIN AVE, SUITE 400
LOVELAND, CO 80538

SUBMITTAL
SCHEMATIC DESIGN

DRAWN BY: —
CHECKED BY: MRB
PROJECT NO.: 20-000-002

REVISIONS

DATE
10/07/2020

SHEET TITLE
DETAILS

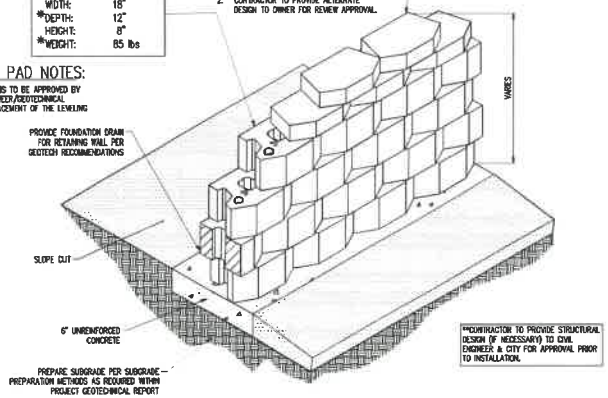
SHEET NUMBER
C-4.0

COMPAC UNIT	
WIDTH:	18"
*DEPTH:	12"
HEIGHT:	8"
*WEIGHT:	85 lbs

CAP UNIT	
WIDTH:	18"
*DEPTH:	10 1/2"
HEIGHT:	4"
*WEIGHT:	45 lbs

NOTES:
1. CONTRACTOR TO PROVIDE COLOR TO OWNER/CITY FOR APPROVAL PRIOR TO PURCHASING.
2. CONTRACTOR TO PROVIDE ALTERNATE DESIGN TO OWNER FOR REVIEW APPROVAL.

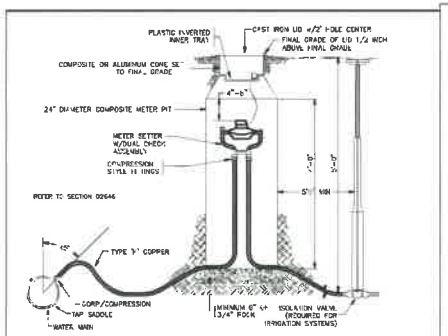
BASE LEVELING PAD NOTES:
1. THE BASE FOUNDATION IS TO BE APPROVED BY THE WALL DESIGN ENGINEER/GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE LEVELING PAD.



COMPAC UNIT/BASE PAD ISOMETRIC SECTION VIEW

NTS * DIMENSIONS & WEIGHT MAY VARY BY REGION

6



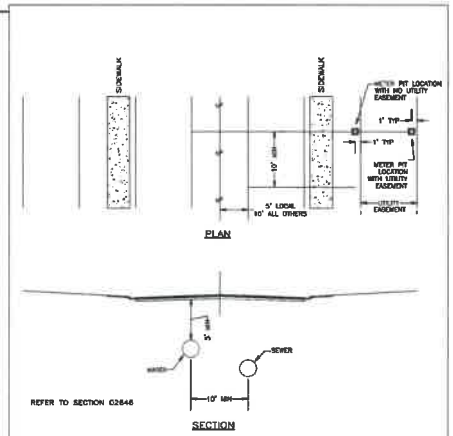
GENERAL NOTES:
1. Meter Pits are to be installed at center of lot unless alternate approved by the District. Meter Pits shall not be located in areas subject to traffic of pedestrian walkways.
2. No landscaping (trees, shrubs, boulders, etc.) is to be within 5 feet of meter pit.
3. Ground surrounding meter pit shall slope away from lid.
4. No plumbing connections are to be made in meter pit.
5. Lawn sprinkler connections are to be at least 5 feet from meter pit on the outlet side.
6. Irrigation systems require an isolation valve downstream of the pit, minimum of 5 feet.
7. Valves to be operated by District personnel only, with exception to the irrigation isolation valves.

TYPICAL METER PIT INSTALLATION

FORT COLLINS – LOVELAND WATER DISTRICT
Office (970) 226-3104 Fax (970) 226-0186
APPROVED: DATE: 6-16-2010
SCALE: NTS

1" METER PIT

5

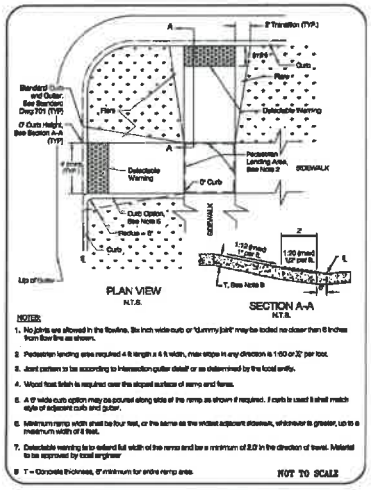


TYPICAL UTILITY SERVICE LOCATION

FORT COLLINS – LOVELAND WATER DISTRICT
Office (970) 226-3104 Fax (970) 226-0186
APPROVED: DATE: 6-16-2010
SCALE: NTS

CURB RAMPS 2

4



NOTES:
1. No joints are allowed in the flowline. Six inch wide curb or "dummy joint" may be tooled no closer than 6 inches from flow line as shown.
2. Pedestrian landing area required 4 ft length x 4 ft width, max slope in any direction is 1:50 or 2% per foot.
3. Joint pattern to be according to intersection gutter detail or as determined by the local entity.
4. Wood float finish is required over the sloped surface of curve and flares.
5. A 0' wide curb option may be poured along side of the ramp as shown if required. If curb is used it shall match style of adjacent curb and gutter.
6. Minimum ramp width shall be four feet, or the same as the widest adjacent sidewalk, whichever is greater, up to a maximum width of 8 feet.
7. Detectable warning tile to extend full width of the ramp and be a minimum of 2.0' in the direction of travel. Material to be approved by local engineer
8. T = Concrete thickness, 6" minimum for entire ramp area.

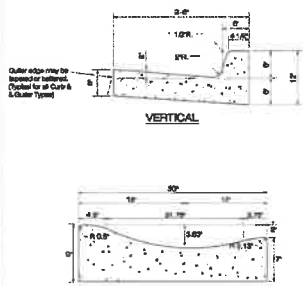
NOT TO SCALE

DIRECTIONAL ACCESS RAMP DETAIL & DETACHED SIDEWALK

LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 4	DRAWING 1606
		DATE: 03/28/14	

CURB RAMPS 2

3

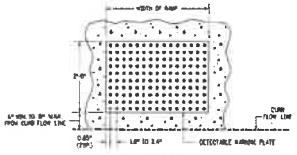


CURB AND GUTTER

LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1	DRAWING 701
		DATE: 03/01/03	

CURB AND GUTTER

2



PLAN VIEW OF DETECTABLE WARNING

NOTES
1. THE TRUNCATED DOME PLATE SHALL BE EMBEDDED IN THE CONCRETE CURB RAMP WHEN CONCRETE IS PLASTIC.
2. THE TRUNCATED DOME PLATE TO BE USED SHALL BE ON THE CDOT APPROVED PRODUCT LIST.
3. WHEN THE DETECTABLE WARNING SURFACE IS CUT, CUTTING OFF DEMARKING PORTION OF ANY CUT DOMES SEAL ALL CUT PANEL EDGES TO PREVENT WATER DAMAGE.
4. THE DETECTABLE WARNING SURFACE SHALL SPAN THE ENTIRE WIDTH OF THE RAMP. IF CONDITIONS DO NOT ALLOW THE ENTIRE SPAN, THE DETECTABLE WARNING SURFACE SPAN SHALL NOT BE MORE THAN 2 INCHES AWAY FROM EACH SIDE OF RAMP.

DETECTABLE WARNINGS

1

LOGO: RIDGETOP ENGINEERING & SURVEYING
941 E. Garden Drive, Unit B
Windsor, CO 80550
T (970) 663-1160
W ridgetopcorp.com

SEAL

PROJECT TITLE
RIVERBEND SUBDIVISION

SEC HARMONY RD & SIGNAL TREE DR

PREPARED FOR
RIVERBEND VENTURES, LLC

2725 ROCKY MOUNTAIN AVE, SUITE 400
LOVELAND, CO 80538

SUBMITTAL
SCHEMATIC DESIGN

DRAWN BY:	—
CHECKED BY:	MRB
PROJECT NO.:	20-030-002

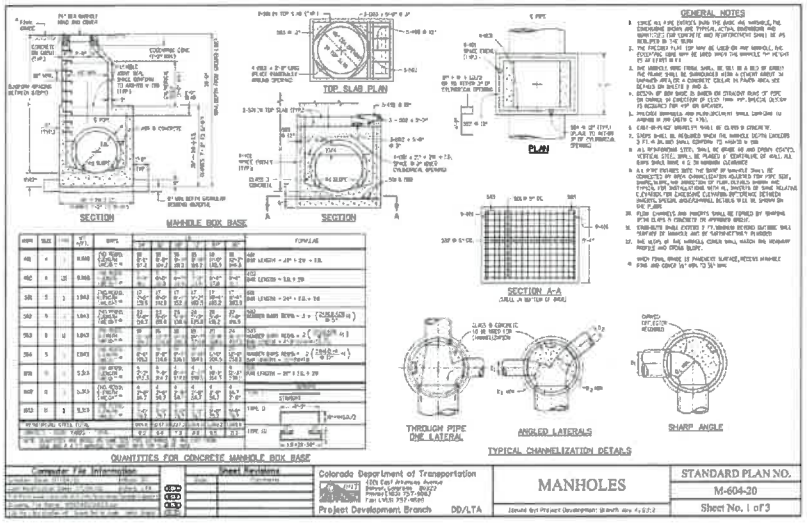
REVISIONS

DATE
10/07/2020

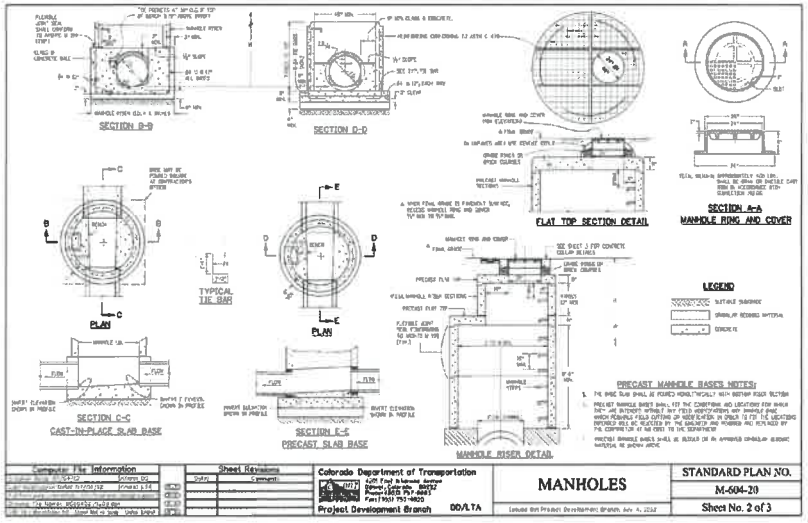
SHEET TITLE
DETAILS

SHEET INFORMATION
C-4.1

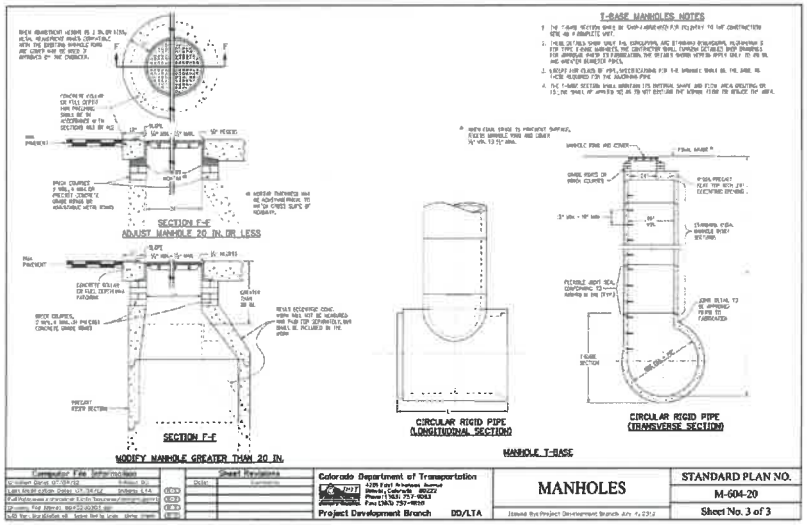
File: SCRB14030.dwg Path: P:\Cadwork\Timrock\Solutions Corporate\Lot 1 - Riverbend JOB-1157-001\2 Drawings\ Plotted by: Mike Date: 27-Mar-23 4:08:20am



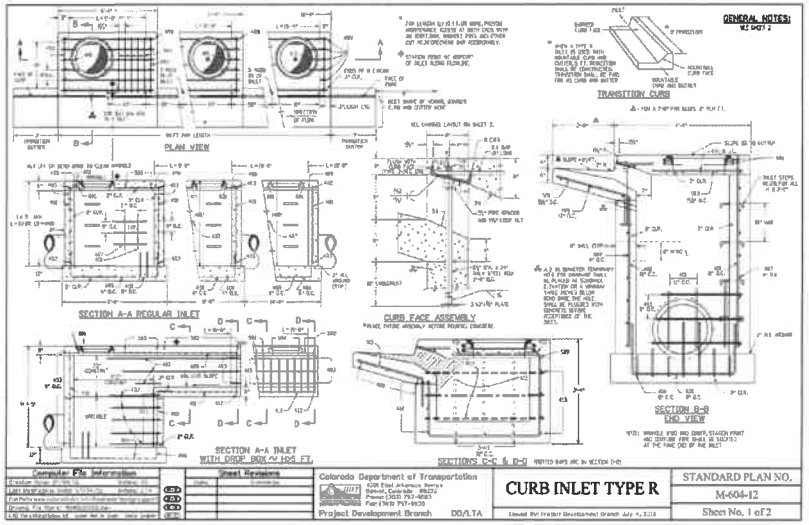
STORM MAHOLE
NTS
2C



STORM MANHOLE
NTS
2B



STORM MANHOLE
NTS
2A



TYPE R CURB INLET
NTS
1

LOGO:

RIDGETOP ENGINEERING & SURVEYING
941 E. Garden Drive, Unit 5B
Windsor, CO 80550
T (970) 663-4362
W ridgetopsurv.com

SEAL

PROJECT TITLE:

RIVERBEND SUBDIVISION

SEC HARMONY RD & SIGNAL TREE DR

PREPARED FOR:

RIVERBEND VENTURES, LLC

2725 ROCKY MOUNTAIN AVE, SUITE 400
LOVELAND, CO 80538

SUBMITTAL:

SCHEMATIC DESIGN

DRAWN BY: —
CHECKED BY: MRB
PROJECT NO.: 20-090-002

REVISIONS:

DATE:

10/07/2020

SHEET TITLE:

DETAILS

SHEET INFORMATION:

C-4.2

23 of 23